



MAST CAPITAL
119 WASHINGTON AVE
SUITE 505
MIAMI BEACH, FL 33139

MIAMI RIVER WALK

1001 NW 7TH ST
MIAMI, FLORIDA



CORWILARCHITECTS
4210 LAGUNA ST., CORAL GABLES FL 33146
LIC. NO. AA-C002151 T.305.448.7383



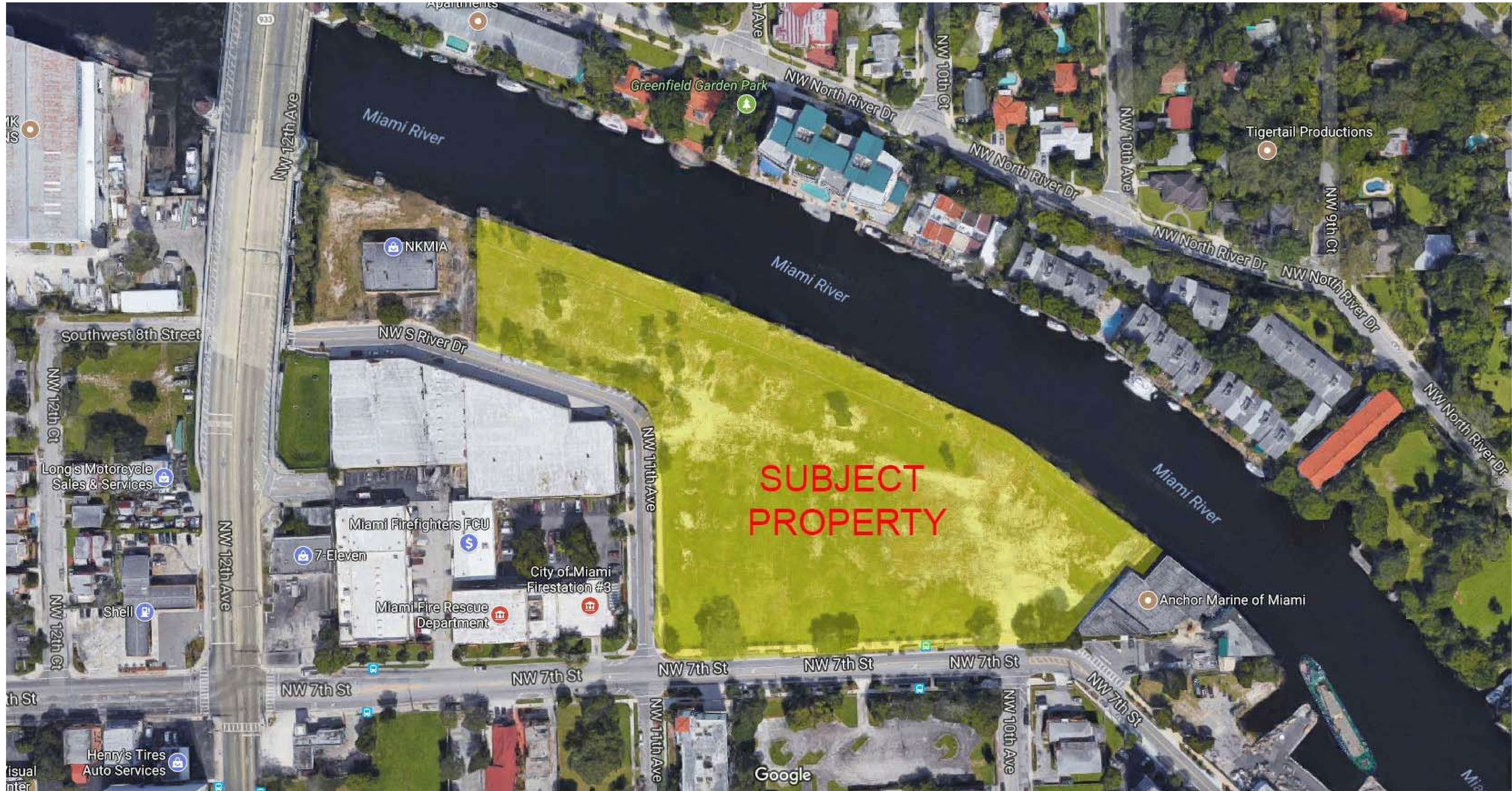
CORWIL ARCHITECTS
 4210 LAGUNA ST. CORAL GABLES FL 33146
 LIC. NO. AA-C002151 T.305.448.7383

PROJECT:

**MIAMI RIVER
 WALK
 1001 NW 7TH
 ST MIAMI, FL**

OWNER:

**MAST CAPITAL 119
 WASHINGTON AVE,
 SUITE 505 MIAMI
 BEACH, FL 33139**



AERIAL CONTEXT PLAN

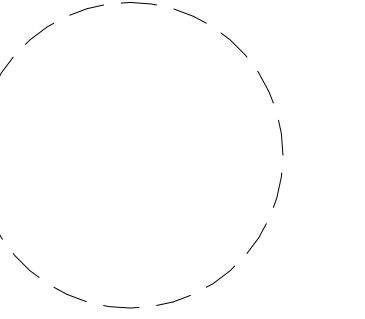
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PERMIT No.:

REVISIONS		
Revision #	Revision Description	Date

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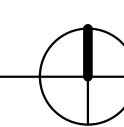


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DATE: 03/03/2017
JOB No.: 2017-07
DRAWN BY: LZ,NF,RK
APPR BY: AMC

AERIAL CONTEXT PLAN

SCALE: N.T.S.



SHEET NUMBER:

A-0.01



CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL 33146
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PROJECT:

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1001 NW 7TH
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CONTEXT PLAN

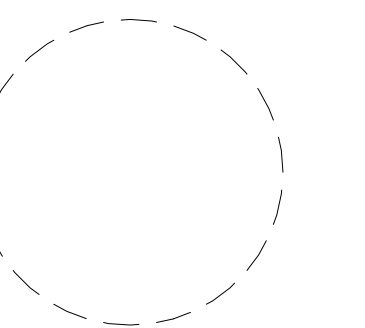
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DATE: 03/03/2017
JOB No.: 2017-07
DRAWN BY: LZ,NF,RK
APPR BY: AMC

SHEET NUMBER:

A-0.02



CONTEXT PLAN NW VIEW

SCALE: N.T.S.



CORWIL ARCHITECTS
 4210 LAGUNA ST. CORAL GABLES FL 33146
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CONTEXT PLAN

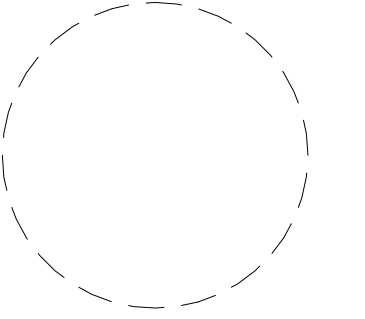
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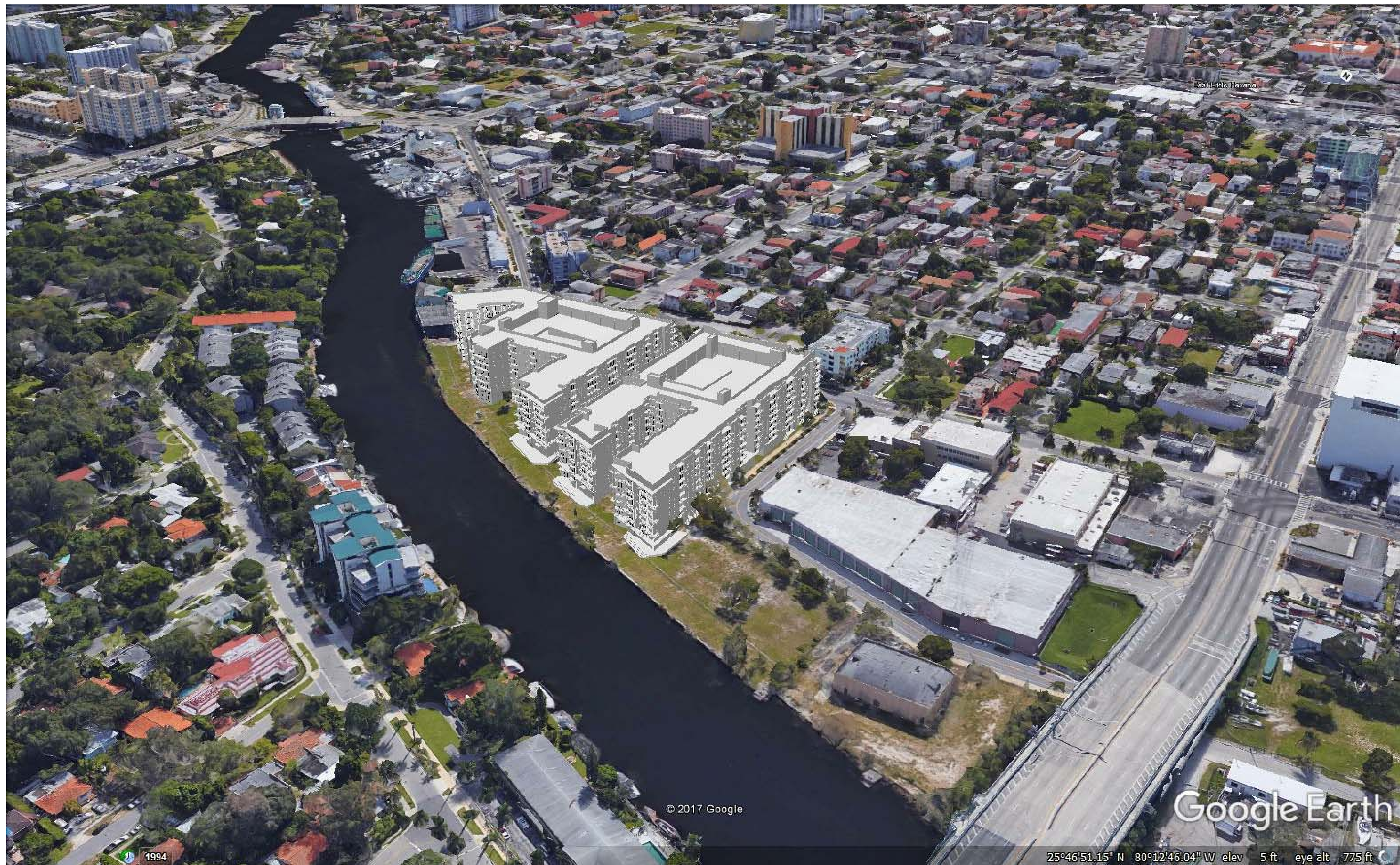


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DATE: 03/03/2017
JOB No.: 2017-07
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APPR BY: AMC

SHEET NUMBER:

A-0.02A



CONTEXT PLAN NE VIEW

SCALE: N.T.S.



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1001 NW 7TH
ST MIAMI, FL**

OWNER:

**MAST CAPITAL 119
WASHINGTON AVE,
SUITE 505 MIAMI
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CONTEXT PLAN

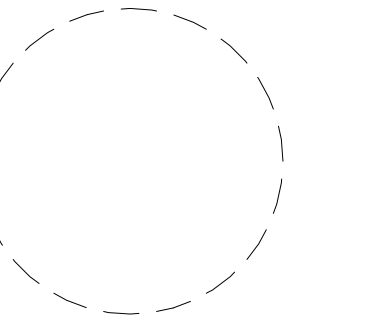
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DATE: 03/03/2017
JOB No.: 2017-07
DRAWN BY: LZ,NF,RK
APPR BY: AMC

SHEET NUMBER:

A-0.02B

CONTEXT PLAN SE VIEW

SCALE: N.T.S.



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1001 NW 7TH
ST MIAMI, FL**

OWNER:

**MAST CAPITAL 119
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SUITE 505 MIAMI
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CONTEXT PLAN

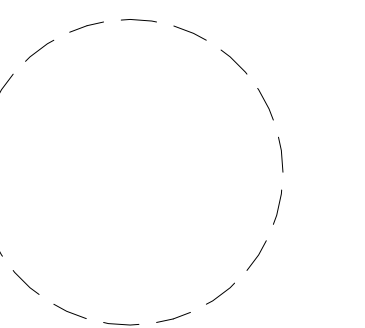
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DATE: 03/03/2017
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CONTEXT PLAN SW VIEW

SCALE: N.T.S.

SHEET NUMBER:

A-0.02C



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PROJECT:

MIAMI RIVER WALK
1001 NW 7TH ST MIAMI, FL

OWNER:

MAST CAPITAL 119 WASHINGTON AVE,
SUITE 505 MIAMI BEACH, FL 33139

ADJOINING AREA CONTEXT PLAN



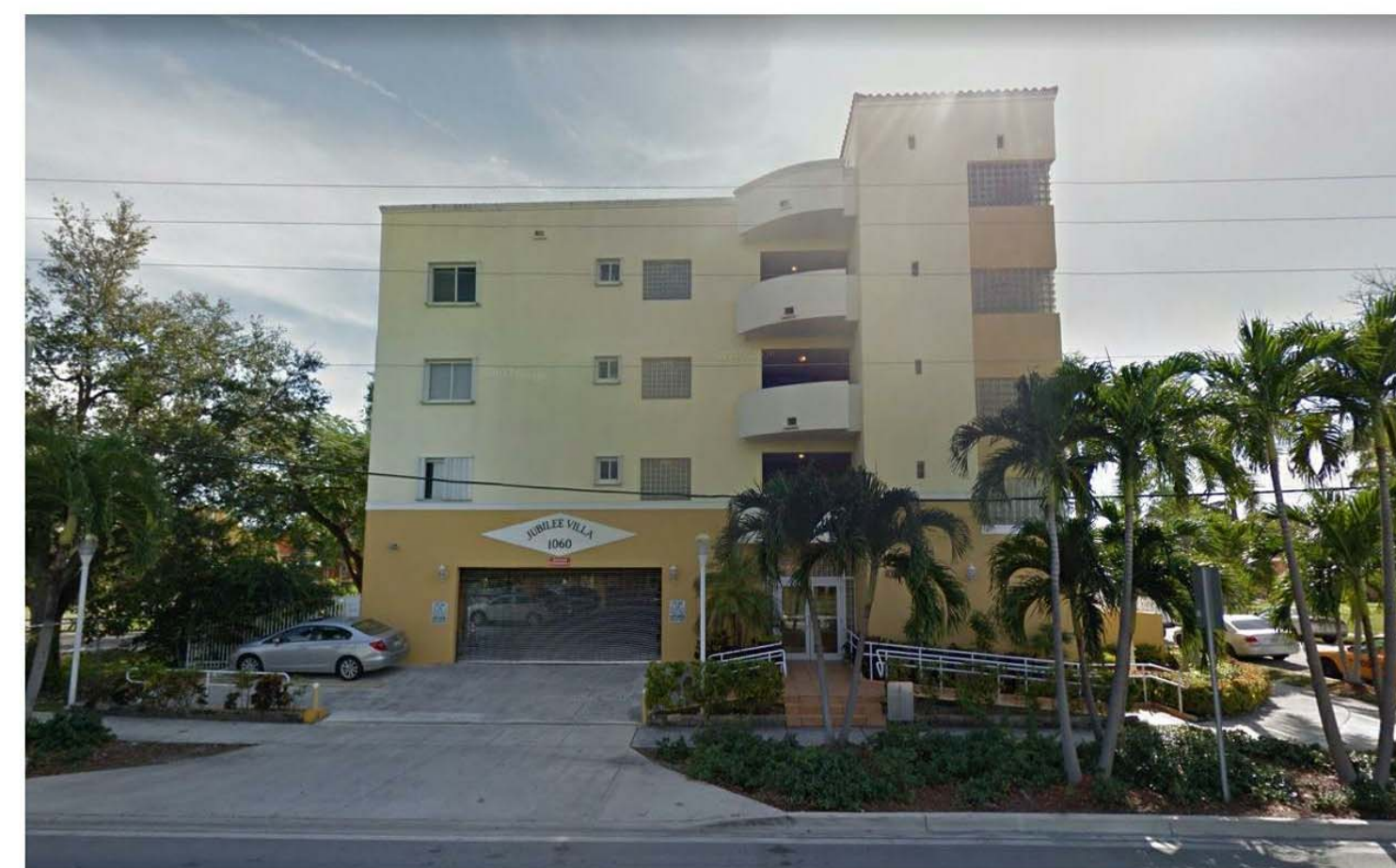
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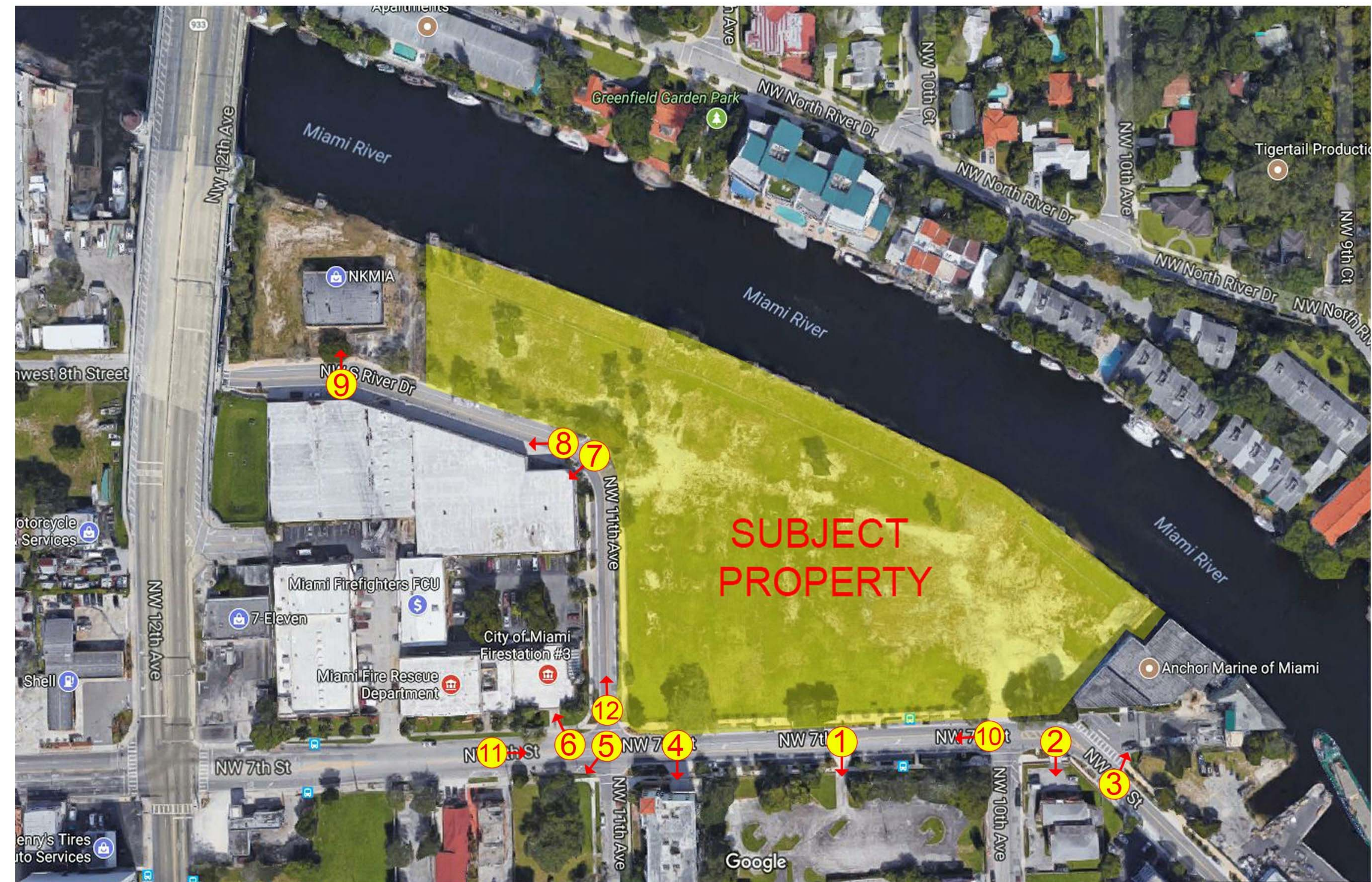
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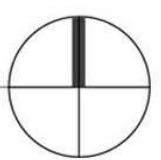
VIEW 3



VIEW 4



ADJOINING AREA CONTEXT PLAN
SCALE: N.T.S.



VIEW 5



VIEW 6



VIEW 7



VIEW 8



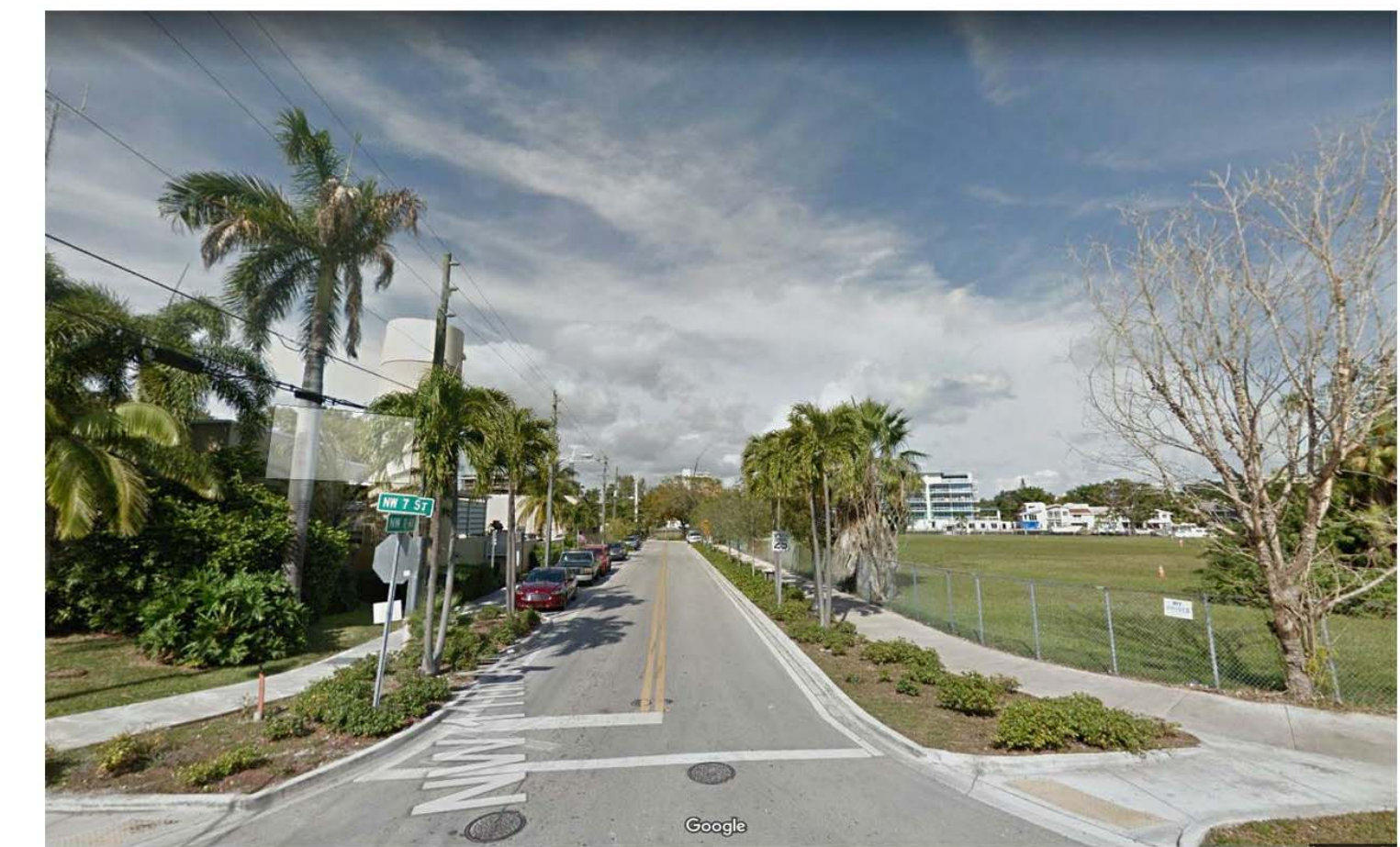
VIEW 9



VIEW 10



VIEW 11



VIEW 12

PHASE:

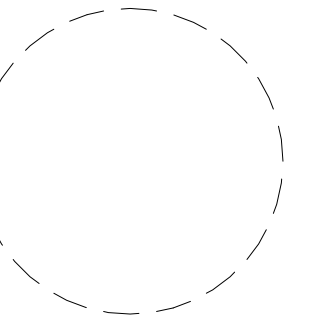
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DRAWN BY: LZ,NF,RK
APPR BY: AMC

SHEET NUMBER:

A-0.03



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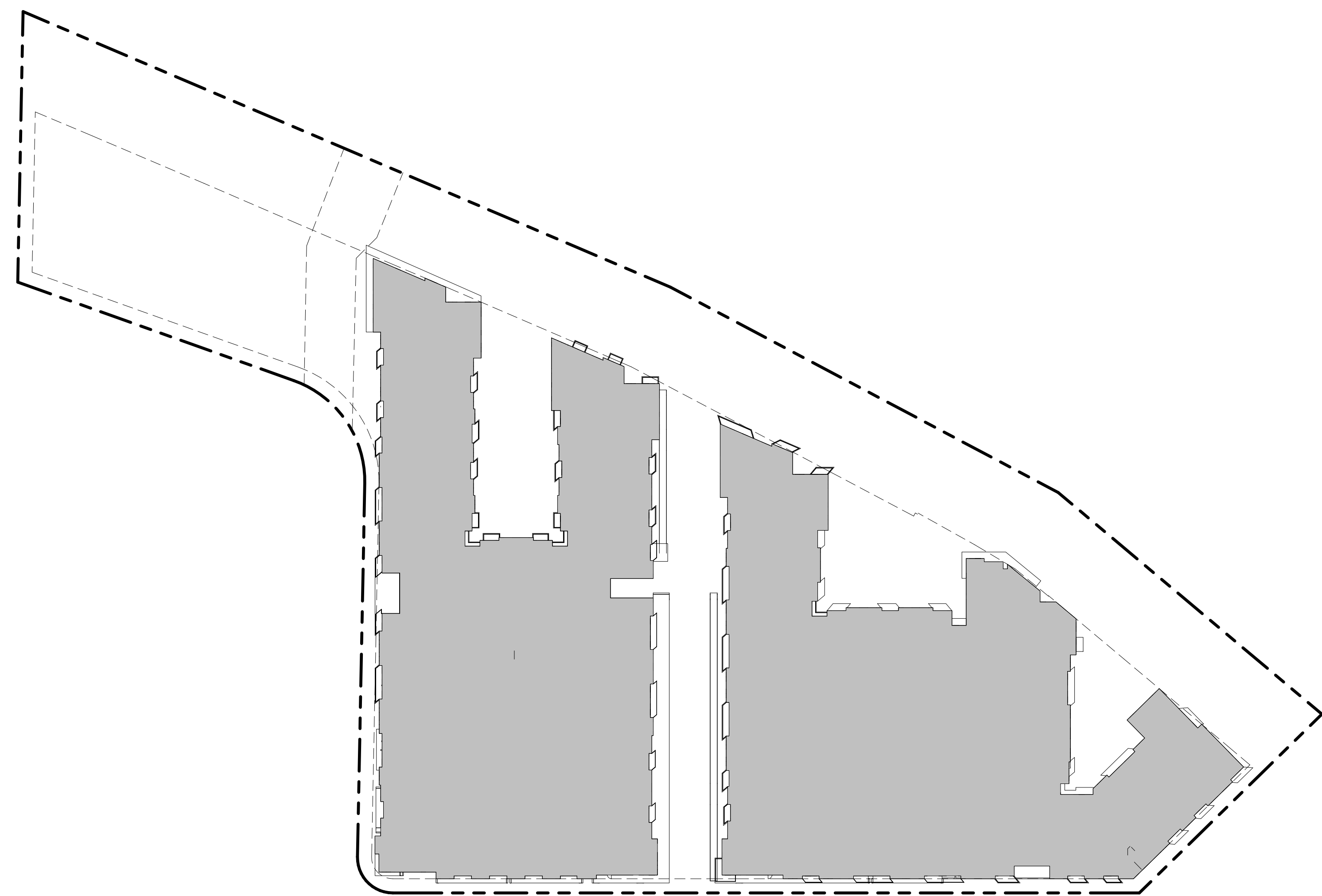
**MAST CAPITAL 119
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F.L.R. CALCULATION DIAGRAM



GRADE LEVEL - 24,426.50 S.F.
 SCALE: 1" = 60'-0"

GROUND LEVEL - 118,235.15 S.F.
 SCALE: 1" = 60'-0"



2ND THUR 6TH LEVEL - 130,485.50 S.F.
 SCALE: 1" = 60'-0"

7TH LEVEL - 91,242.80 S.F.
 SCALE: 1" = 60'-0"

8TH LEVEL - 89,367.80 S.F.
 SCALE: 1" = 60'-0"

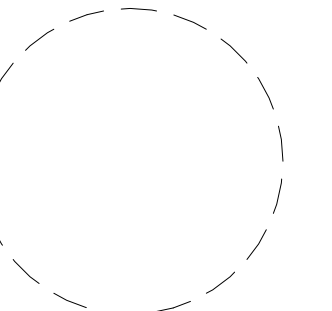
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DRAWN BY: LZ,NF,RK
APPR BY: AMC

SHEET NUMBER:

A-0.05

PROJECT:

MIAMI RIVER WALK

OWNER:

MAST CAPITAL 119 WASHINGTON AVE, SUITE 505 MIAMI BEACH, FL 33139

SITE PLAN

PHASE:

WAIVER SUBMITTAL

PERMIT No.:

REVISIONS

Revision #	Revision Description	Date
1	ZONING COMMENTS	10/12/17

SEAL:



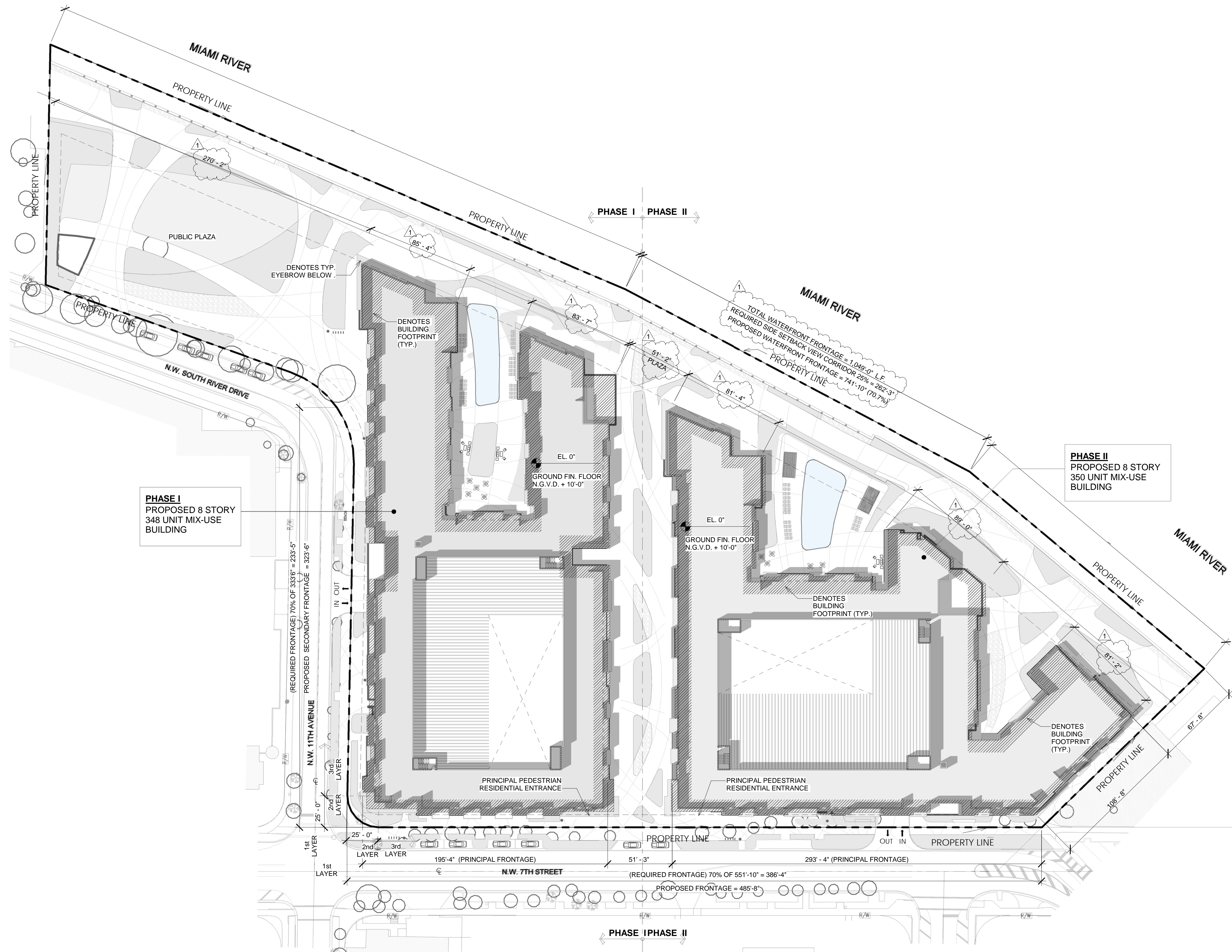
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DATE: **03/03/2017**
JOB No.: **2017-07**
DRAWN BY: **LZ,NF,RK**
APPR BY: **AMC**

SHEET NUMBER:

A-1.00

MIAMI 21 ZONING DATA SHEET, TRANSECT ZONE T6-8 O FOLIO # 01-3135-029-001 O		
	REQUIRED	PROVIDED
BUILDING DISPOSITION		
LOT OCCUPATION		
a. Lot Area	5,000 s.f. min.; 40,000 s.f. max.	274,864 s.f. (6.31 acre)
b. Lot Width	50 ft. min.	
c. Lot Coverage		
1-8 Stories	80% max. (219,891 s.f.)	132,794 s.f.
Above 8 Story	15,000 sq. ft. max. Floorplate for Residential & Lodging 30,000 sq. ft. max. Floorplate for Office & Commercial	N/A
d. Floor Lot Ratio (FLR)	5 (274,864 s.f.)=1,374,320 sf	951,972 s.f.
e. Frontage at Setback	70% min. of 551'-10" (386'-4") 70% min. of 333'-6" (233'-5") 70% min. of 1,049'-0" (734'-4")	485'-8" (Primary Frontage) 323'-6" (Secondary Frontage) 742'-2" (Waterfront Frontage)
f. Open Space Requirements	10% Lot Area min. (27,486 s.f.)	142,070 s.f.
g. Density	150 d.u./acre max. (946 d.u. max)	697 d.u.
Unit Mix		106 (Studios) 364 (1 Bed) 198 (2 Bed) 29 (3 Bed)
BUILDING SETBACK		
a. Principal Front	10 ft. min.; 20 ft. min. above 8 Story	10'-0" (NW 7th Street)
b. Secondary Front	10 ft. min.; 20 ft. min. above 8 Story	10'-0" (NW 11th Avenue)
c. Side	0 ft. min.; 30 ft. min. above 8 Story	10'-0"
d. Rear	0 ft. min.; 30 ft. min. above 8 Story	50'-0" (Waterfront)
e. Abutting Side or Rear T5	0 ft. min. 1 through 5 Story 10 ft. min. 6 through 8 Story 30 ft. min. above 8 Story	N/A
Abutting Side or Rear T4	6 ft. min. 1 through 5 Story 26 ft. min. above 8 Story	N/A
Abutting Side or Rear T3	10% of Lot Depth min. 1 through 2 Story 26 ft. min. 3 through 5 Story 46 ft. min. above 5 Story	N/A
BUILDING CONFIGURATION FRONTAGE		
a. Common Lawn	Prohibited	
b. Porch & Fence	Prohibited	
c. Terrace or L.C.	Prohibited	
d. Forecourt	Permitted	
e. Stoop	Permitted	
f. Shopfront	Permitted (T6-8L & T6-8O only)	
g. Gallery	Permitted by Special Area Plan	
h. Arcade	Permitted by Special Area Plan	
BUILDING HEIGHT		
Min. Height	2 Stories	
Max. Height	8 Stories	8 Stories
PARKING		
697 d.u. X 1.5 = 1,046+70 p.s (1 visitor parking space for every 10 d.u.) = 1,116 p.s 3 space per 1000 s.f. of retail use (2,795 s.f.) = 9 p.s Subtotal Parking Required = 1,125 spaces 30% parking reduction (1,125-338) Total Parking Required = 788 Spaces Total Parking Provided = 800 Spaces (400 per phase) Bike Spaces Required = 1 per 20 Vehicular Spaces (20 per phase) Bike Spaces Provided = 20 per phase		
LOADING ZONE		
Greater than 500,000 s.f.	REQUIRED	PROVIDED
Birth size		
660 s.f.	1 per first 100 d.u.	(1) 12'x35'x15'
200 s.f.	1 per additional 100 d.u.	(3) 10'x20'x12'



SITE PLAN
SCALE: 1" = 40'-0"

SITE NOTES

- LOT SHALL BE GRADED TO PREVENT DIRECT OVERLAND DISCHARGE OF STORM WATER ONTO ADJACENT PROPERTY. REFER TO CIVIL DRAWINGS.
- OMITTED.
- R DENOTES RADIUS TO BE PROVIDED. REFER TO CIVIL DRAWINGS FOR DETAILS.
- CONTRACTOR SHALL PROVIDE DETECTABLE WARNING MATERIALS WHERE SHOWN. PROVIDE SHOP DRAWINGS FOR APPROVAL.
- ACTUAL LOCATION FOR DETECTABLE WARNING SHALL BE COORDINATED IN FIELD AND AS PER PREVAILING CODES AND STANDARDS.
- ALL PEDESTRIAN ROUTES SHALL SLOPE TO MEET AT CROSS WALKS. (2% MAX.) SLOPE SHALL BE MAINTAINED AT ALL WALKING SURFACES. REFER TO CIVIL DRAWINGS FOR ELEV.
- 1/2" MAX. THRESHOLD AT ALL EGRES DOORS (TYP).
- COORDINATE ALL WORK WITH ALL OTHER TRADES.
- ALL GRADE SHALL SLOPE AWAY FROM BUILDING WALLS.
- SEE LANDSCAPE DRAWINGS FOR OPEN SPACES.
- SIGNAGE UNDER SEPARATE PERMIT.

WAIVERS REQUIRED

- Article 4, Table 4: To allow a 30% reduction in the required parking for projects within a 1/2 mile of a transit oriented development or within a 1/4 mile of a transit corridor.
- Article 5, Section 5.6.2(f): To allow Vehicular entries on Principal Frontages by waiver.

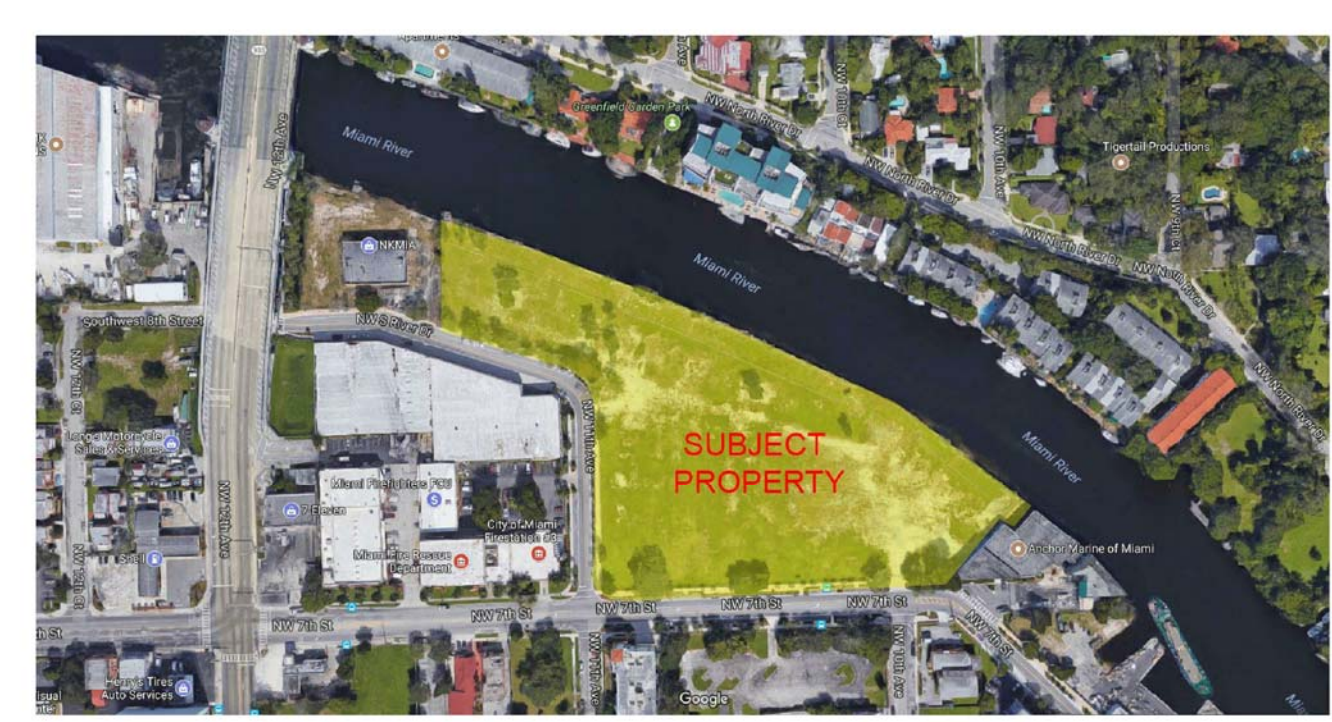
SUSTAINABILITY STANDARD

ALL NEW BUILDINGS OF MORE THAN 50,000 SQUARE FEET OF HABITABLE ROOMS OR SPACE IN T5, T6, C1 AND CS ZONES SHALL BE AT A MINIMUM CERTIFIED AS SILVER BY THE UNITED STATES GREEN BUILDING COUNCIL (USGBC) LEADERSHIP IN ENERGY AND ENVIRONMENTAL DESIGN (LEED) STANDARDS OR EQUIVALENT STANDARDS ADOPTED OR APPROVED BY THE CITY.

LEGAL DESCRIPTION

TRACT 1:
PARCEL 1:
TRACT A OF SPORTSMAN'S PARK SECTION "A", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 50, PAGE 81, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LESS A PORTION OF TRACT A BEING MORE PARTICULARLY DESCRIBED AS:
BEGIN AT THE NORTHWEST CORNER OF SAID TRACT A, THENCE S 00°58'05" E ALONG THE WEST LINE OF SAID TRACT A FOR 190.93 FEET; THENCE S 72° 27'42" E ALONG THE SOUTHERLY LINE OF SAID TRACT A FOR 206.70 FEET TO A POINT OF CURVATURE CONCAVE TO THE SOUTHWEST; THENCE SOUTHEASTERLY ALONG A 75.48 FOOT RADIUS CURVE LEADING TO THE RIGHT THROUGH A CENTRAL ANGLE OF 71°29'37" AND AN ARC DISTANCE OF 94.18 FEET; THENCE N 17°32'18" E FOR 212.25 FEET; THENCE N 69°01'44" W ALONG THE NORTH LINE OF SAID TRACT A FOR 339.49 FEET TO THE POINT OF BEGINNING.
AND
PARCEL 2:
A PORTION OF TRACT A OF SPORTSMAN'S PARK SECTION "A", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 50, PAGE 81, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS:
BEGIN AT THE NORTHWEST CORNER OF SAID TRACT A, THENCE S 00°58'05" E ALONG THE WEST LINE OF SAID TRACT A FOR 190.93 FEET; THENCE S 72° 27'42" E ALONG THE SOUTHERLY LINE OF SAID TRACT A FOR 206.70 FEET TO A POINT OF CURVATURE CONCAVE TO THE SOUTHWEST; THENCE SOUTHEASTERLY ALONG A 75.48 FOOT RADIUS CURVE LEADING TO THE RIGHT THROUGH A CENTRAL ANGLE OF 71°29'37" AND AN ARC DISTANCE OF 94.18 FEET; THENCE N 17°32'18" E FOR 212.25 FEET; THENCE N 69°01'44" W ALONG THE NORTH LINE OF SAID TRACT A FOR 339.49 FEET TO THE POINT OF BEGINNING.
LYING AND BEING IN SECTION 35, TOWNSHIP 53 SOUTH, RANGE 41 EAST, CITY OF MIAMI, MIAMI-DADE COUNTY, FLORIDA.

UNIT BREAKDOWN			
UNIT TYPE	NUMBER OF BEDROOMS	UNIT AREA (SF)	TOTAL NUMBER OF UNITS
UNIT S-1	1	485.00	42
UNIT S-2	1	401.00	14
UNIT S-3	1	483.00	6
UNIT S-4	1	484.00	33
UNIT S-5	1	568.00	2
UNIT S-6	1	598.00	1
UNIT S-7	1	450.00	8
UNIT A-1	1	725.00	68
UNIT A-1A	1	718.00	40
UNIT A-1B	1	740.00	20
UNIT A-1C	1	694.00	35
UNIT A-2	1	676.00	8
UNIT A-3	1	779.00	7
UNIT A-4	1	806.00	1
UNIT A-5	1	650.00	185
UNIT B-1	2	1,086.00	110
UNIT B-2	2	980.00	8
UNIT B-3	2	1,086.00	14
UNIT B-3A	2	1,086.00	8
UNIT B-4	2	982.00	8
UNIT B-5	2	910.00	7
UNIT B-6	2	1,060.00	8
UNIT B-7	2	1,052.00	7
UNIT B-8	2	1,003.00	8
UNIT B-9	2	987.00	7
UNIT B-10	2	1,003.00	13
UNIT C-1	3	1,245.00	21
UNIT C-2	3	1,272.00	8
TOTAL			697



LOCATION MAP
SCALE: N.T.S.



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PROJECT:

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OWNER:

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SITE GROUND PLAN

PHASE:

WAIVER SUBMITTAL

PERMIT No.:

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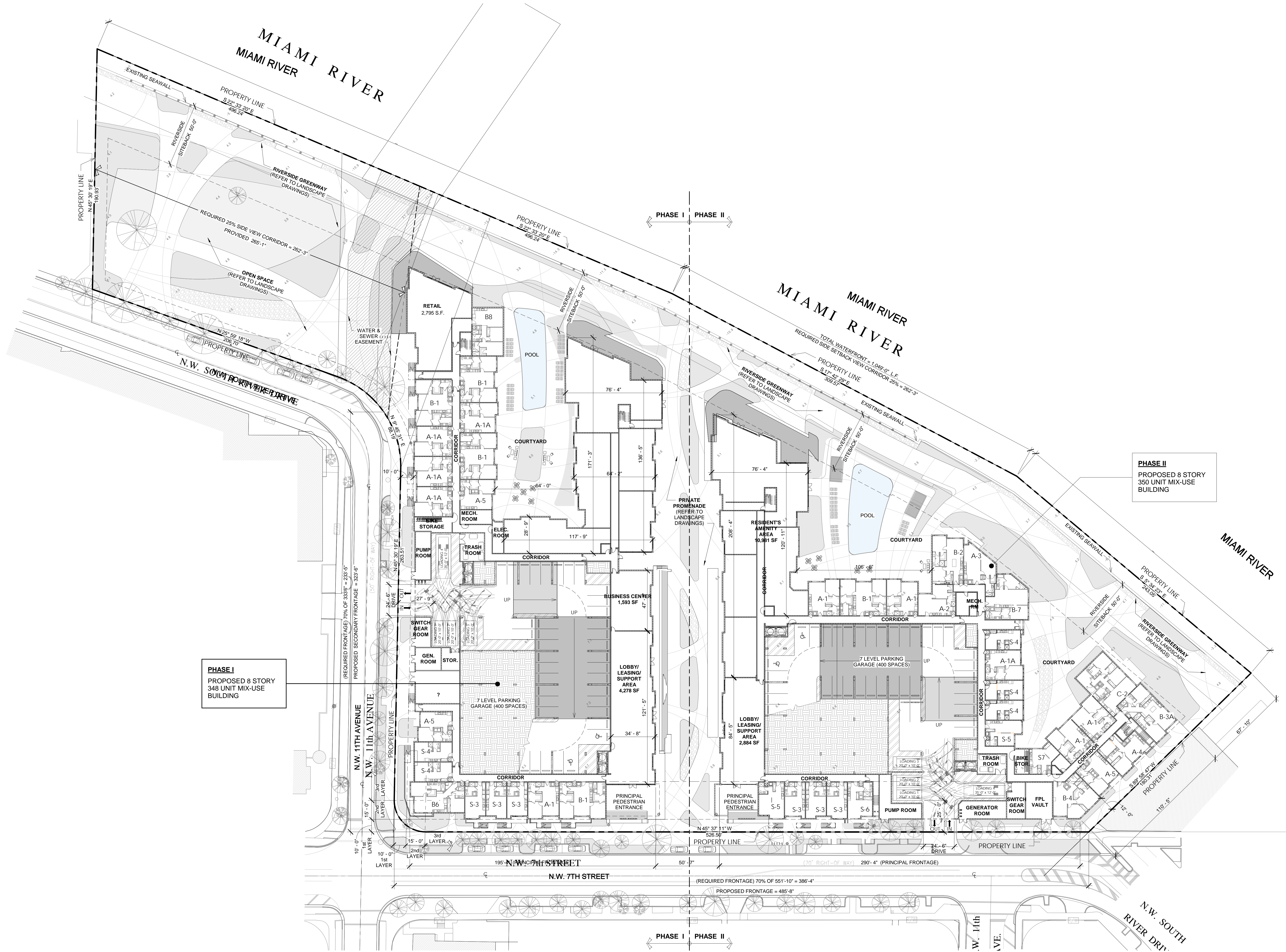


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DATE: 03/03/2017
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DRAWN BY: LZ,NF,RK
APPR BY: AMC

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A-1.00A

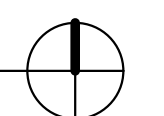


PHASE I
PROPOSED 8 STORY
348 UNIT MIX-USE
BUILDING

PHASE II
PROPOSED 8 STORY
350 UNIT MIX-USE
BUILDING

SITE GROUND PLAN

SCALE: 1" = 30'-0"





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GRADE LEVEL PLAN_PHASE 1

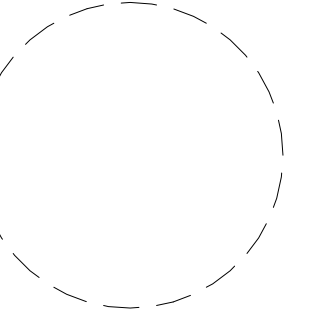
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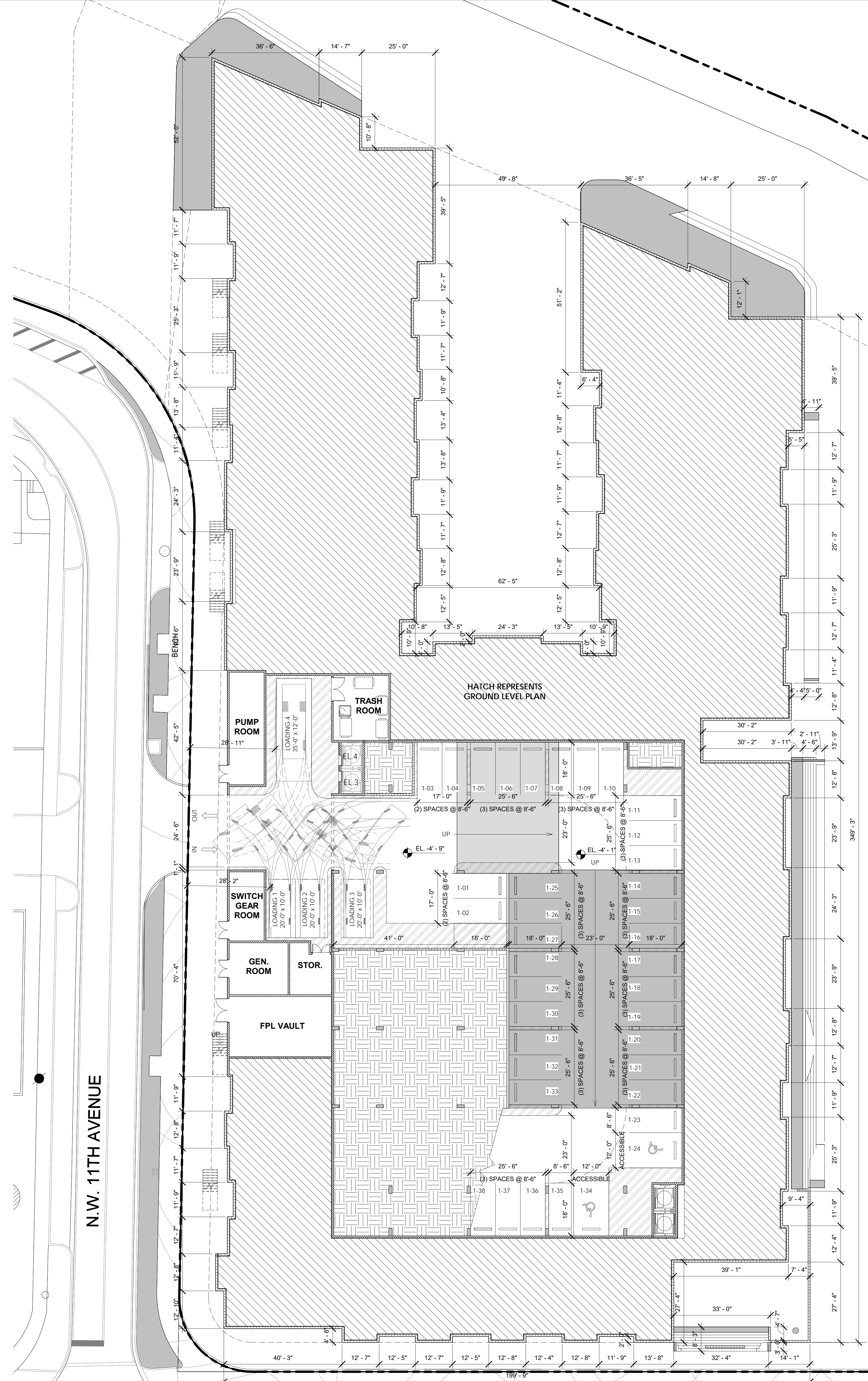
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DATE: 03/03/2017
JOB No.: 2017-07
DRAWN BY: Author
APPR BY: Approver



GRADE LEVEL PLAN
SCALE: 1/16" = 1'-0"

SHEET NUMBER:

A-2.00



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GRADE LEVEL PLAN_ PHASE 2

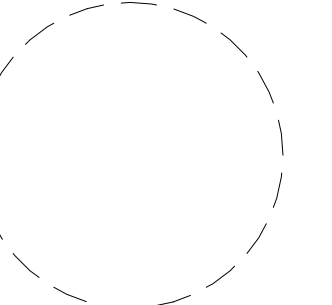
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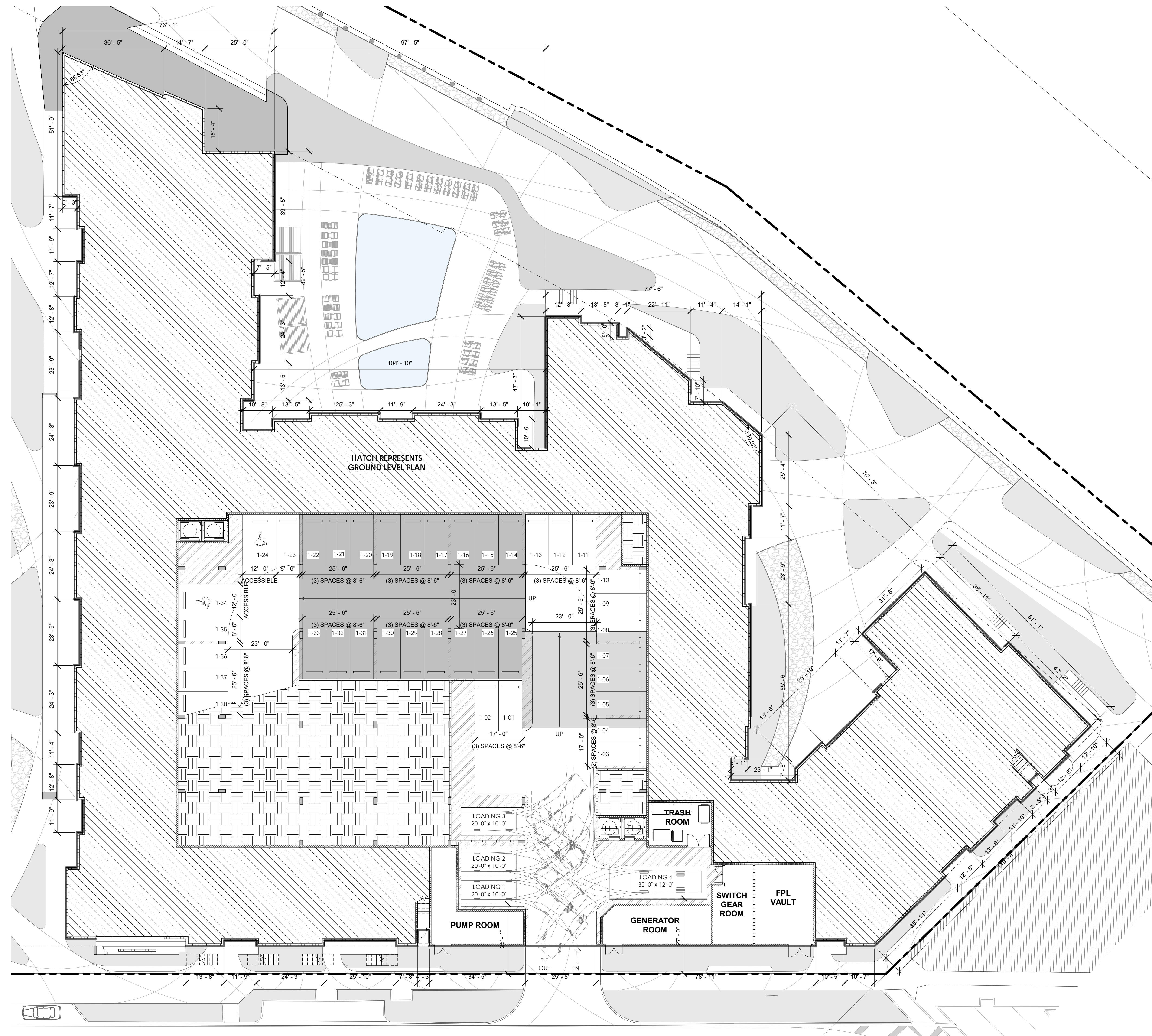
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Revision #	Revision Description	Date

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DATE: 03/03/2017
JOB No.: 2017-07
DRAWN BY: Author
APPR BY: Approver



GRADE LEVEL PLAN
SCALE: 1/16" = 1'-0"

SHEET NUMBER:
A-2.00A



CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL 33146
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:

**MIAMI RIVER WALK
1001 NW 7TH ST MIAMI, FL**

OWNER:

MAST CAPITAL 119 WASHINGTON AVE, SUITE 505 MIAMI BEACH, FL 33139

GROUND LEVEL PLAN_PHASE 1

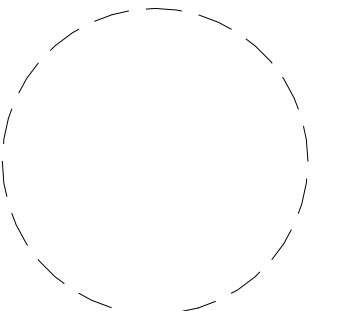
PHASE:

WAIVER SUBMITTAL

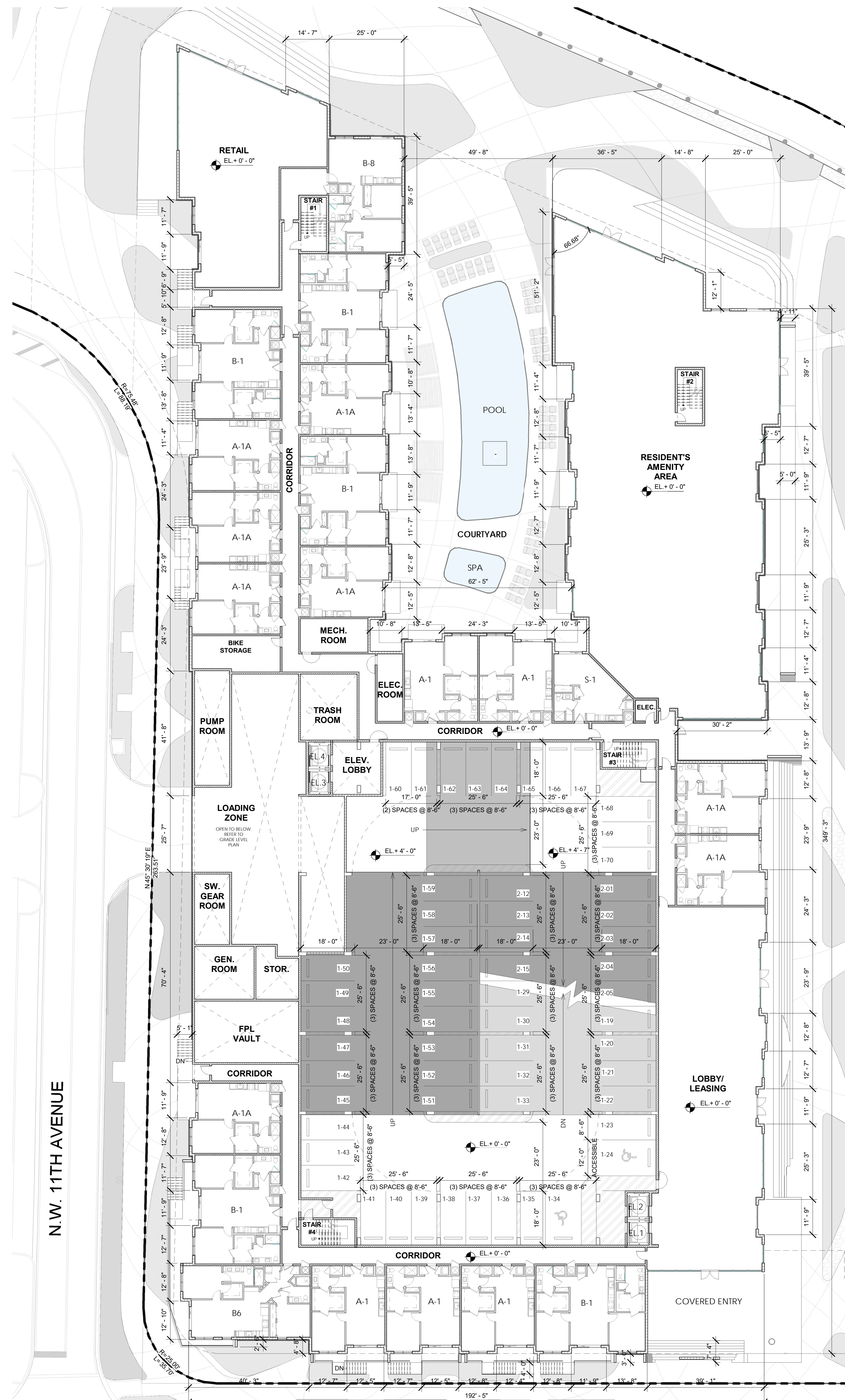
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APPR BY: Approver



GROUND LEVEL PLAN
SCALE: 1/16" = 1'-0"

SHEET NUMBER:
A-2.01



CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL. 33146
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:

**MIAMI RIVER WALK
1001 NW 7TH ST MIAMI, FL**

OWNER:

MAST CAPITAL 119 WASHINGTON AVE, SUITE 505 MIAMI BEACH, FL 33139

GROUND LEVEL PLAN_PHASE 2

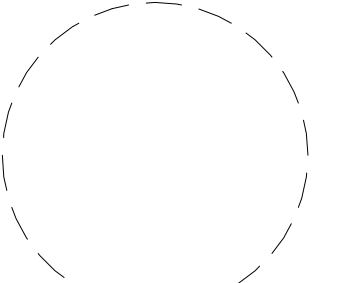
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GROUND LEVEL PLAN
SCALE: 1/16" = 1'-0"



CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL 33146
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:

**MIAMI RIVER
WALK
1001 NW 7TH
ST MIAMI, FL**

OWNER:

**MAST CAPITAL 119
WASHINGTON AVE,
SUITE 505 MIAMI
BEACH, FL 33139**

2ND LEVEL PLAN_ PHASE 1

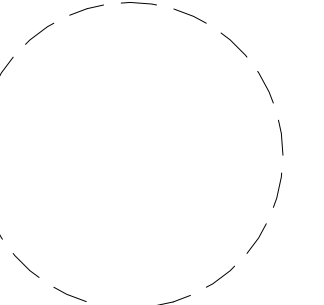
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**WAIVER
SUBMITTAL**

PERMIT No.:

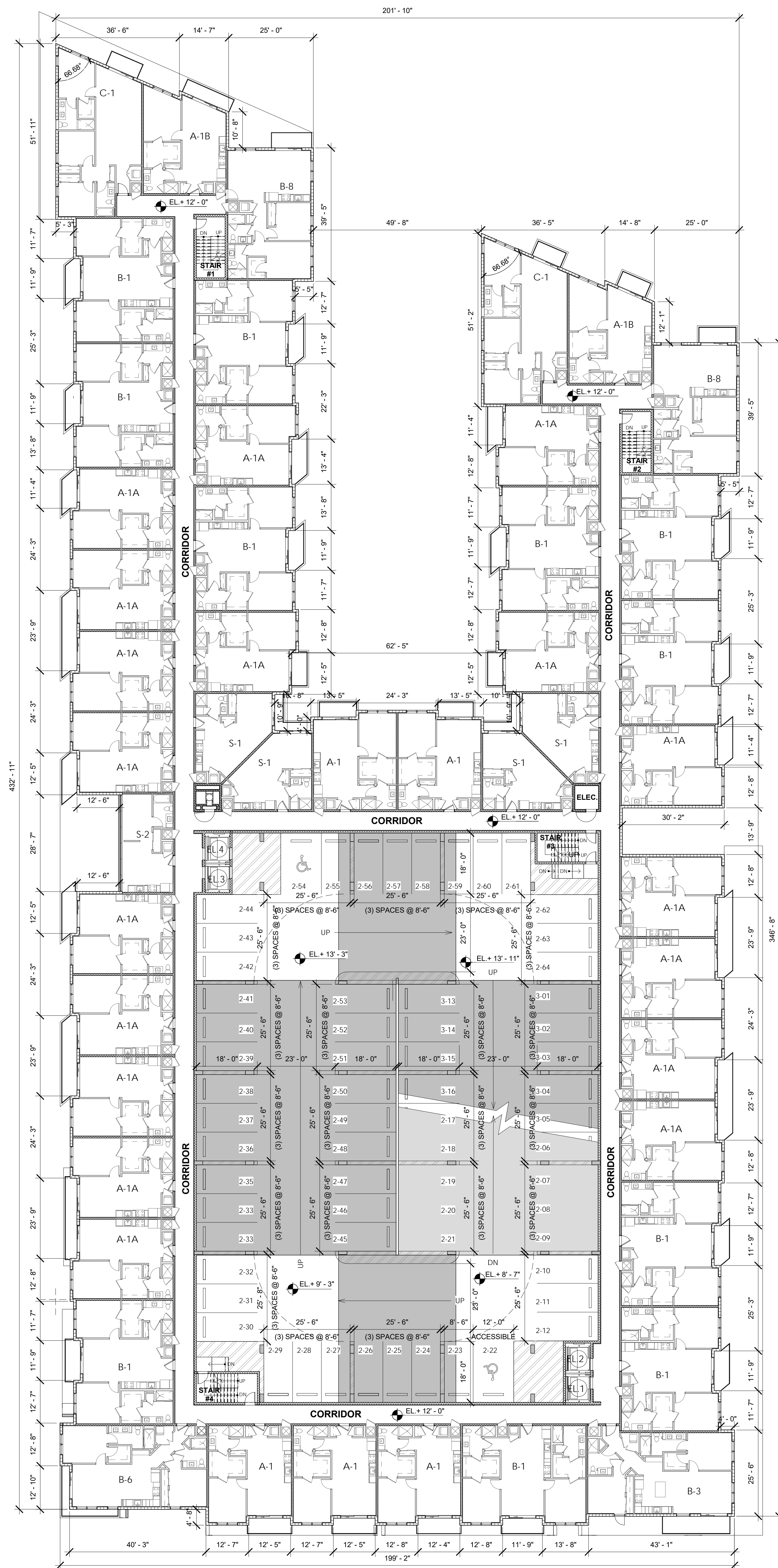
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DATE: 03/03/2017
JOB No.: 2017-07
DRAWN BY: Author
APPR BY: Approver



2ND LEVEL PLAN
SCALE: 1/16" = 1'-0"

SHEET NUMBER:

A-2.02



CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL 33146
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:

**MIAMI RIVER
WALK
1001 NW 7TH
ST MIAMI, FL**

OWNER:

**MAST CAPITAL 119
WASHINGTON AVE,
SUITE 505 MIAMI
BEACH, FL 33139**

2ND LEVEL PLAN_ PHASE 2

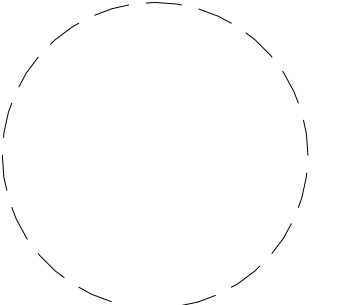
PHASE:

**WAIVER
SUBMITTAL**

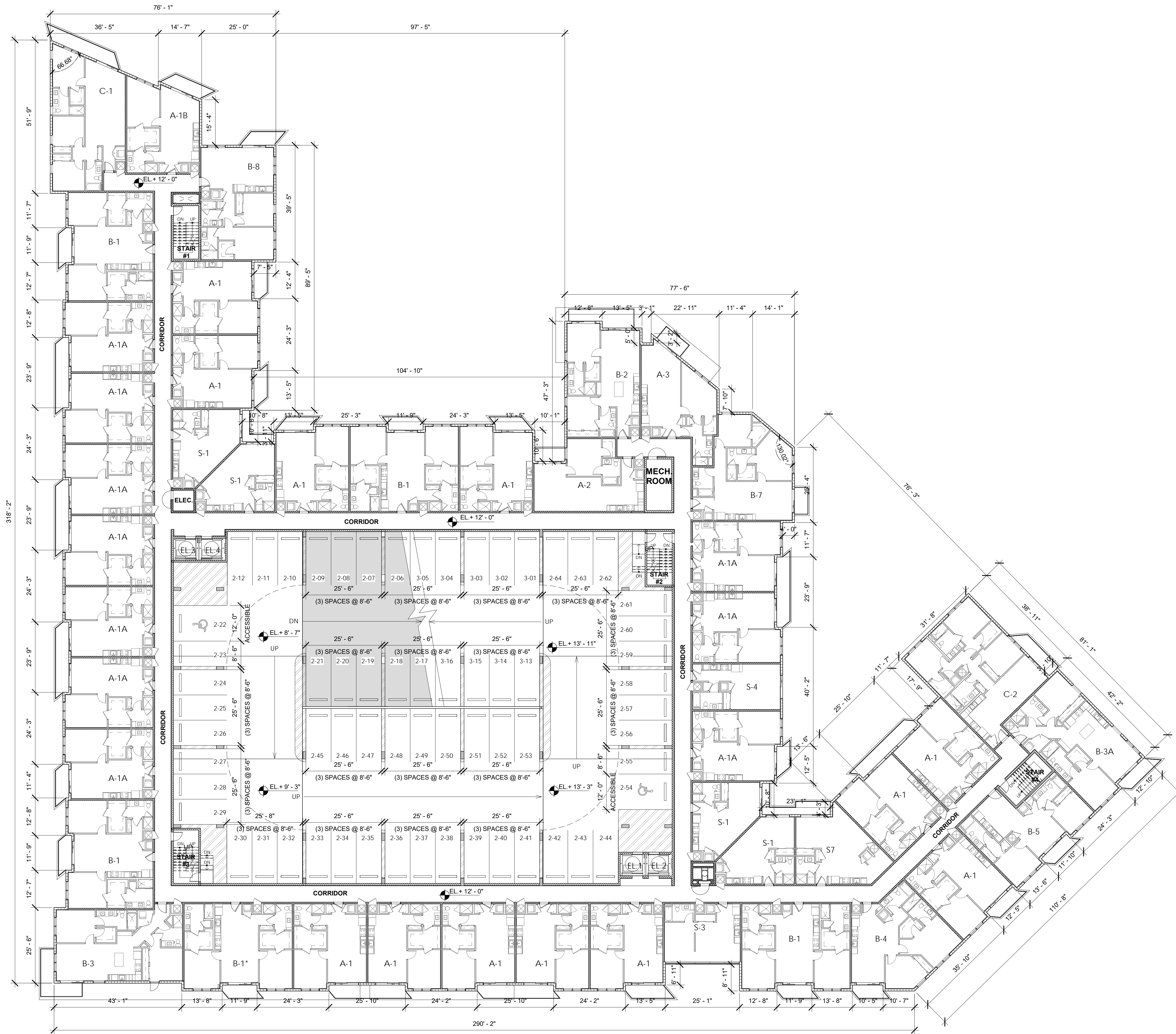
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JOB No.: 2017-07
DRAWN BY: Author
APPR BY: Approver



2ND LEVEL PLAN
SCALE: 1/16" = 1'-0"

SHEET NUMBER:
A-2.02A



CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL 33146
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:

**MIAMI RIVER
WALK
1001 NW 7TH
ST MIAMI, FL**

OWNER:

**MAST CAPITAL 119
WASHINGTON AVE,
SUITE 505 MIAMI
BEACH, FL 33139**

3RD-7TH LEVEL PLAN_ PHASE 1

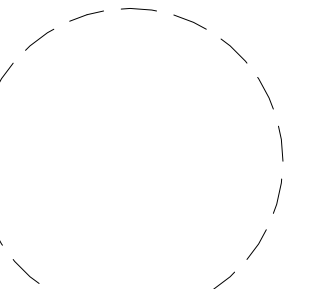
PHASE:

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Revision #	Revision Description	Date

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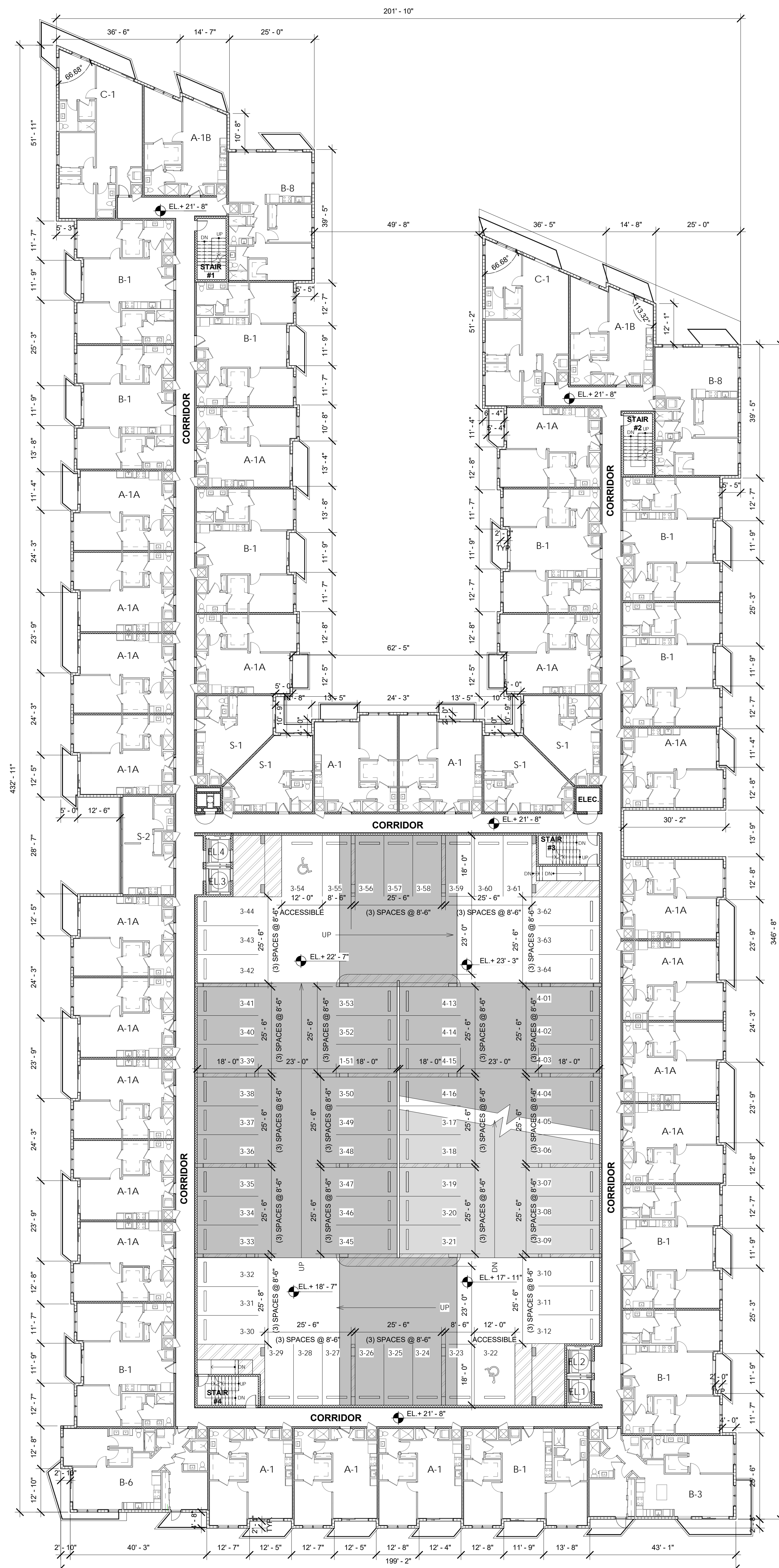


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APPR BY: Approver

SHEET NUMBER:

A-2.03



3RD- 7TH LEVEL PLAN
SCALE: 1/16" = 1'-0"



CORWIL ARCHITECTS
 4210 LAGUNA ST. CORAL GABLES FL 33146
 LIC. NO. AA-C002151 T.305.448.7383

PROJECT:

**MIAMI RIVER WALK
 1001 NW 7TH ST MIAMI, FL**

OWNER:

**MAST CAPITAL 119 WASHINGTON AVE,
 SUITE 505 MIAMI BEACH, FL 33139**

8TH LEVEL PLAN _ PHASE 1

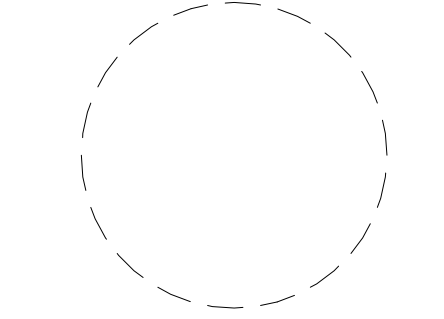
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WAIVER SUBMITTAL

PERMIT No.:

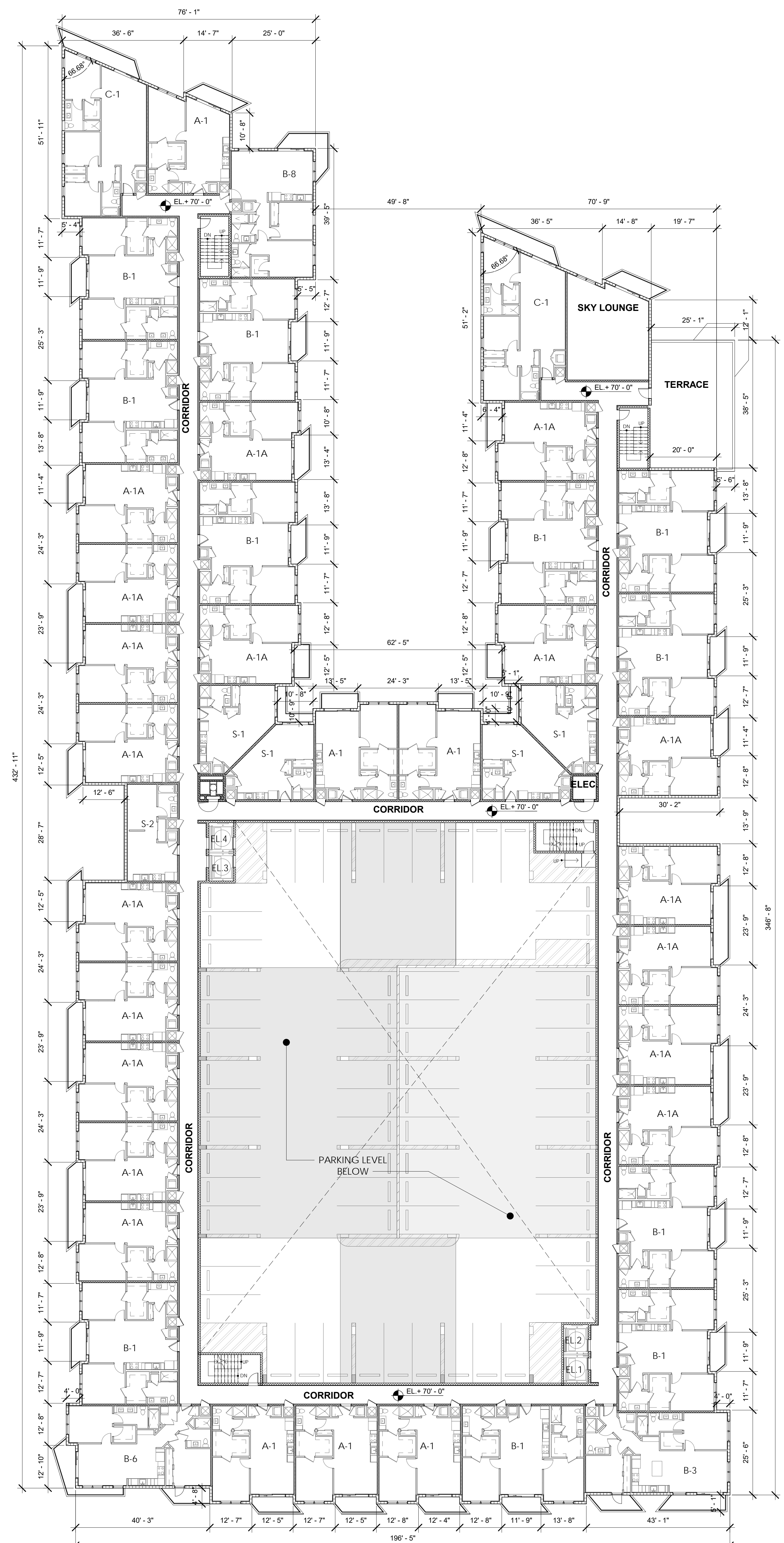
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8TH LEVEL PLAN
 SCALE: 1/16" = 1'-0"

SHEET NUMBER:

A-2.04



CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL 33146
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:

**MIAMI RIVER WALK
1001 NW 7TH ST MIAMI, FL**

OWNER:

MAST CAPITAL 119 WASHINGTON AVE, SUITE 505 MIAMI BEACH, FL 33139

8TH LEVEL PLAN _ PHASE 2

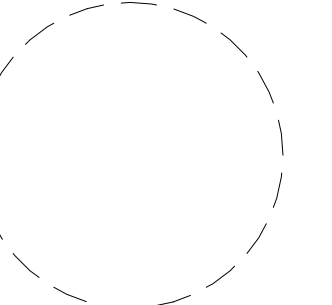
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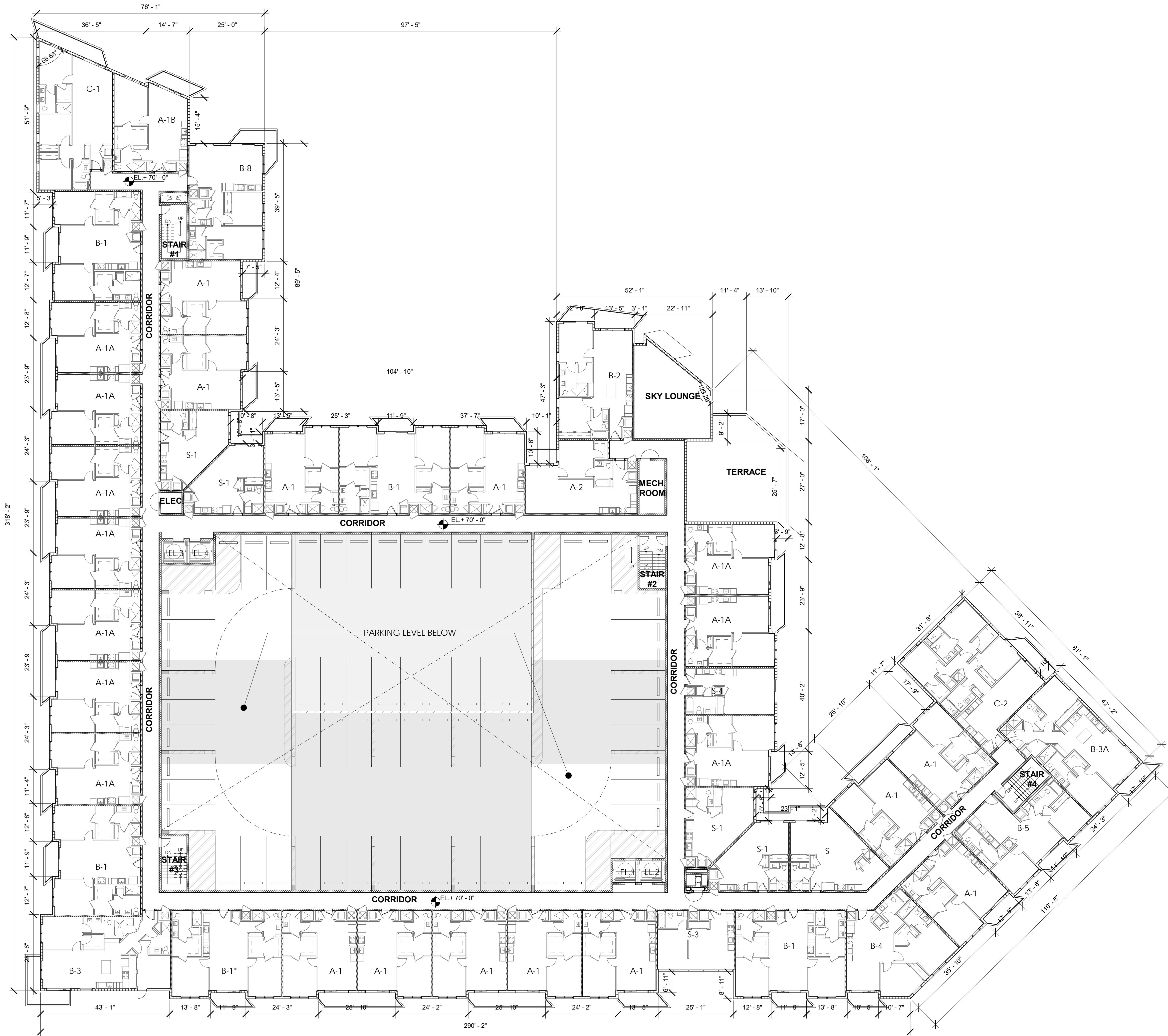
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8TH LEVEL PLAN
SCALE: 1/16" = 1'-0"

SHEET NUMBER:
A-2.04A



CORWIL ARCHITECTS
 4210 LAGUNA ST. CORAL GABLES FL 33146
 LIC. NO. AA-C002151 T.305.448.7383

PROJECT:

**MIAMI RIVER WALK
 1001 NW 7TH ST MIAMI, FL**

OWNER:

MAST CAPITAL 119 WASHINGTON AVE, SUITE 505 MIAMI BEACH, FL 33139

ROOF LEVEL_PHASE 1

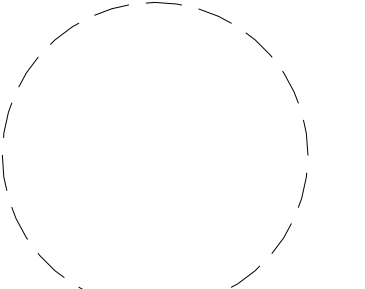
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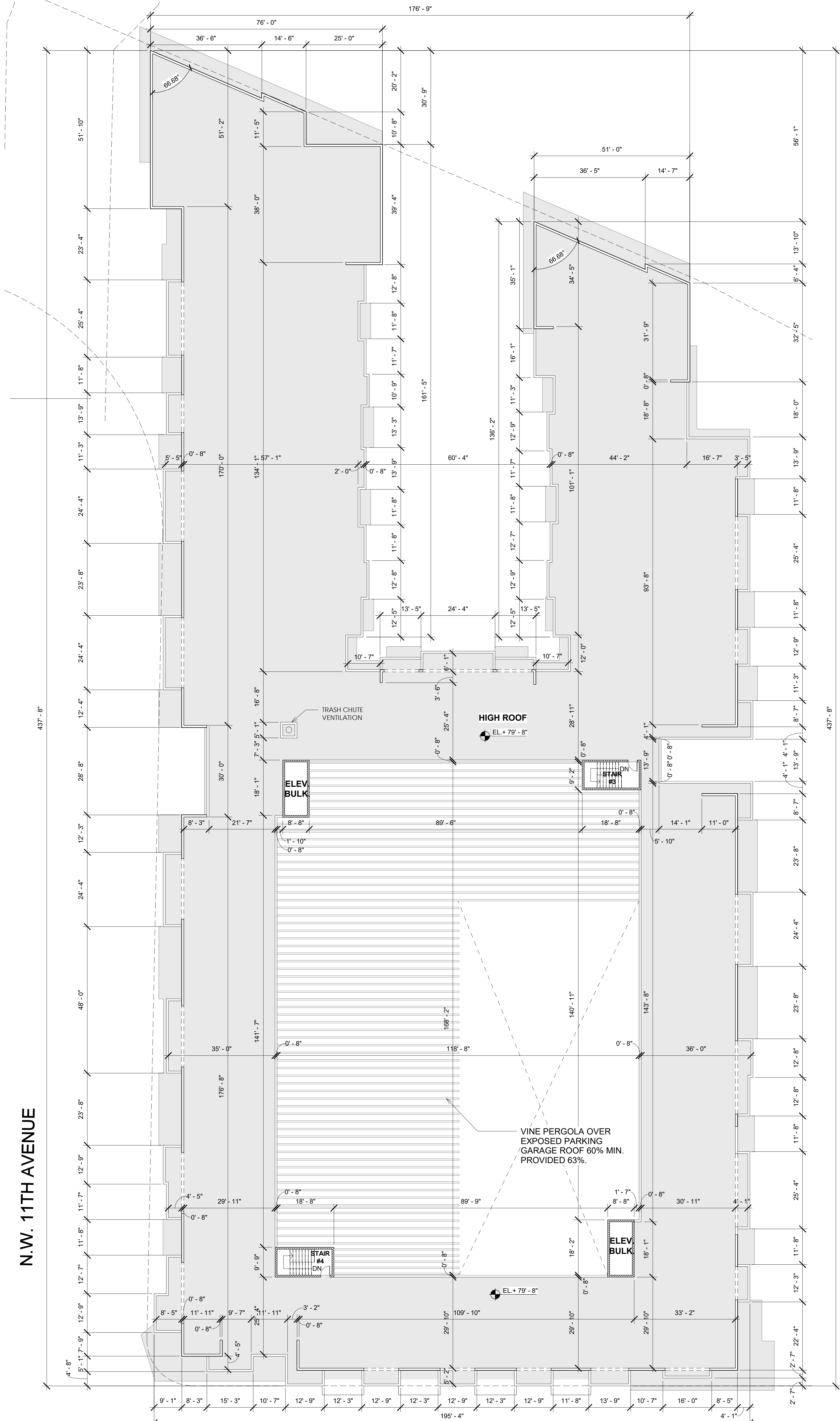
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N.W. 11TH AVENUE

ROOF LEVEL PLAN
 SCALE: 1/16" = 1'-0"

SHEET NUMBER:

A-2.05



CORWIL ARCHITECTS
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LIC. NO. AA-C002151 T.305.448.7383

PROJECT:

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1001 NW 7TH ST MIAMI, FL**

OWNER:

MAST CAPITAL 119 WASHINGTON AVE, SUITE 505 MIAMI BEACH, FL 33139

ROOF LEVEL_PHASE 2

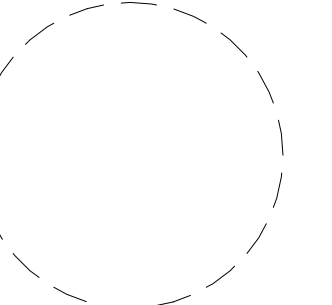
PHASE:

WAIVER SUBMITTAL

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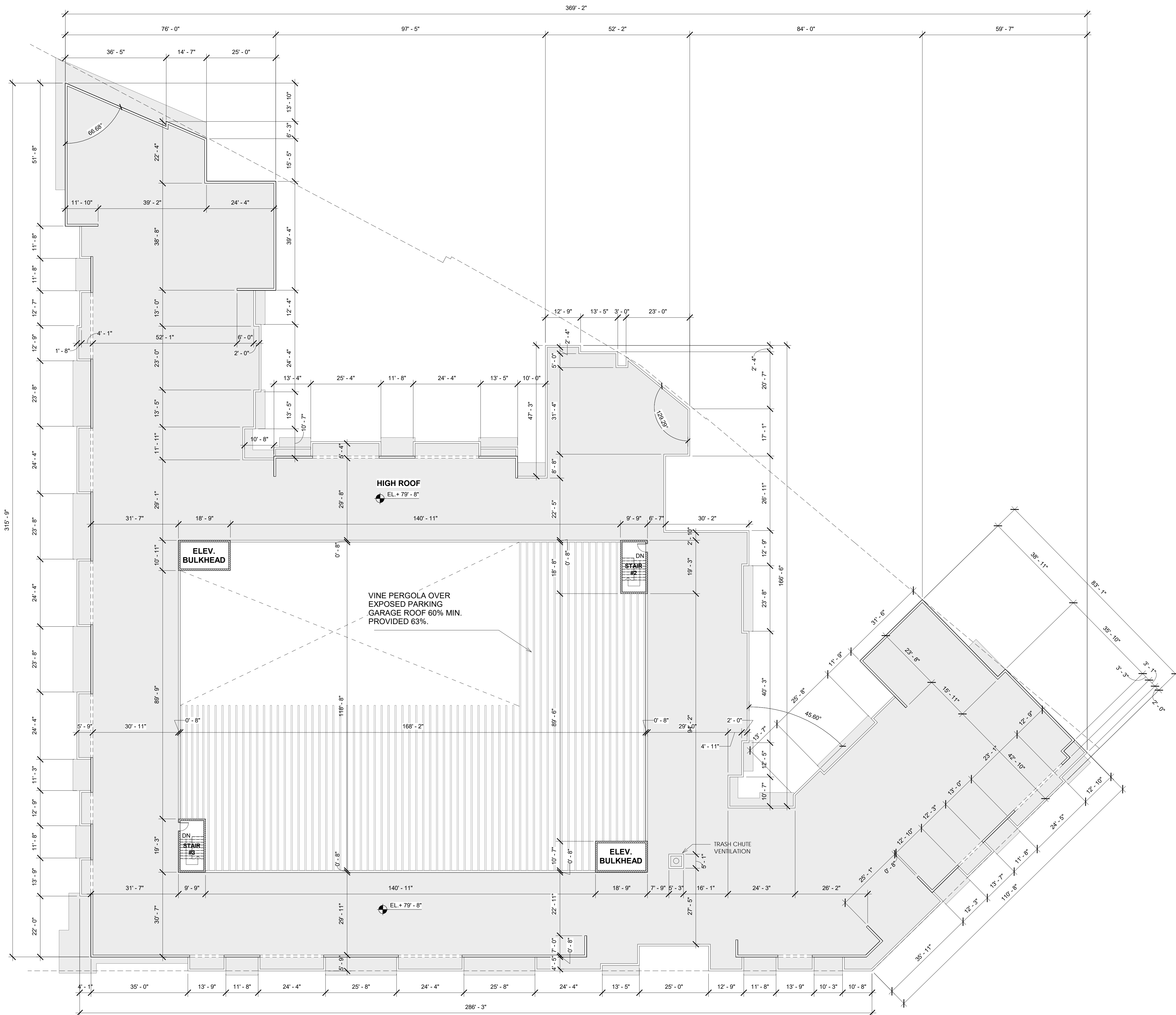
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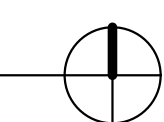
SHEET NUMBER:

A-2.05A



ROOF LEVEL PLAN

SCALE: 1/16" = 1'-0"





CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL. 33146
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:
MIAMI RIVER WALK
1001 NW 7TH ST MIAMI, FL

OWNER:
MAST CAPITAL 119 WASHINGTON AVE, SUITE 505 MIAMI BEACH, FL 33139

RENDERED ELEVATIONS PHASE I

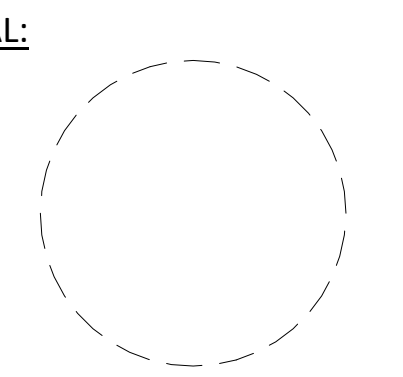
ELEVATION LEGEND

- 1 LIGHT TEXTURE CEMENT PLASTER FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)
- 2 CONTINUOUS 1/2" WIDE X 1/4 DEPTH STUCCO SCORE LINE, SPACED @ 6" O.C.
- 3 ACCESS STEPS / STOOP
- 4 CONCRETE EYEBROW SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED BALCONIES/ TERRACES AND CONCRETE SLABS OR AS OTHERWISE INDICATED BY DRAWINGS. EXTEND VERTICALLY A MIN. 2" AT ALL ADJACENT WALLS.
- 5 DECORATIVE FIN W/ SMOOTH STUCCO FINISH
- 6 BALCONY/ TERRACE CONCRETE SLAB PROPERLY SLOPED TO EXTERIOR. PROVIDE WATERPROOFING AT ALL ELEVATED BALCONIES/ TERRACES AND CONCRETE SLABS OR AS OTHERWISE INDICATED BY DRAWINGS. EXTEND VERTICALLY A MIN. 2" AT ALL ADJACENT WALLS.
- 7 42" HT. A.F.F. BALCONY PICKET RAILING, SHALL REJECT 4" OBJECTS.
- 8 ARTIFICIAL GREEN WALL
- 9 SINGLE-HUNG WINDOW W/ ALUMINUM FRAME & IMPACT RESISTANT GLASS PRODUCT CONTROL APPROVAL IS REQUIRED.
- 10 SLIDING DOOR W/ ALUMINUM FRAME AND IMPACT RESISTANT GLASS (TYP.) PRODUCT CONTROL APPROVAL IS REQUIRED.
- 11 IMPACT RESISTANT ALUMINUM STOREFRONT SYSTEM.
- 12 6'-0" HIGH ALUMINUM PRIVACY SCREEN PANEL AT BALCONIES (SEE PLANS FOR LOCATIONS)
- 13 BUILDING ADDRESS IDENTIFICATION SIGNAGE
- 14 PARAPET WALL WITH REINFORCED CONCRETE CAP.
- 15 WALL MOUNTED, EXTERIOR GRADE LIGHT FIXTURE.
- 16 IMPACT RESISTANT METAL DOOR.
- 17 STRUCTURAL COLUMN.
- 18 DECORATIVE ALUMINUM FRAMES.



PHASE:
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Revision #	Revision Description	Date



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DATE: 03/03/2017
JOB No.: 2017-07
DRAWN BY: Author
APPR BY: Approver

SHEET NUMBER:
A-3.00



CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES, FL 33146
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:

**MIAMI RIVER WALK
1001 NW 7TH ST MIAMI, FL**

OWNER:

MAST CAPITAL 119 WASHINGTON AVE, SUITE 505 MIAMI BEACH, FL 33139

RENDERED ELEVATIONS PHASE I

ELEVATION LEGEND

- 1 LIGHT TEXTURE CEMENT PLASTER FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)
- 2 CONTINUOUS 1/2" WIDE X 1/4 DEPTH STUCCO SCORE LINE, SPACED @ 6" O.C.
- 3 ACCESS STEPS / STOOP
- 4 CONCRETE EYEBROW SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED BALCONIES/ TERRACES AND CONCRETE SLABS OR AS OTHERWISE INDICATED BY DRAWINGS. EXTEND VERTICALLY A MIN. 2" AT ALL ADJACENT WALLS.
- 5 DECORATIVE FIN W/ SMOOTH STUCCO FINISH
- 6 BALCONY/ TERRACE CONCRETE SLAB PROPERLY SLOPED TO EXTERIOR. PROVIDE WATERPROOFING AT ALL ELEVATED BALCONIES/ TERRACES AND CONCRETE SLABS OR AS OTHERWISE INDICATED BY DRAWINGS. EXTEND VERTICALLY A MIN. 2" AT ALL ADJACENT WALLS.
- 7 42" HT. A.F.F. BALCONY PICKET RAILING, SHALL REJECT 4" OBJECTS.
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- 9 SINGLE-HUNG WINDOW W/ ALUMINUM FRAME & IMPACT RESISTANT GLASS PRODUCT CONTROL APPROVAL IS REQUIRED.
- 10 SLIDING DOOR W/ ALUMINUM FRAME AND IMPACT RESISTANT GLASS (TYP.) PRODUCT CONTROL APPROVAL IS REQUIRED.
- 11 IMPACT RESISTANT ALUMINUM STOREFRONT SYSTEM.
- 12 6'-0" HIGH ALUMINUM PRIVACY SCREEN PANEL AT BALCONIES (SEE PLANS FOR LOCATIONS)
- 13 BUILDING ADDRESS IDENTIFICATION SIGNAGE
- 14 PARAPET WALL WITH REINFORCED CONCRETE CAP.
- 15 WALL MOUNTED, EXTERIOR GRADE LIGHT FIXTURE.
- 16 IMPACT RESISTANT METAL DOOR.
- 17 STRUCTURAL COLUMN.
- 18 DECORATIVE ALUMINUM FRAMES.



PHASE I WEST ELEVATION
SCALE: 1/16" = 1'-0"



PHASE I EAST ELEVATION
SCALE: 1/16" = 1'-0"

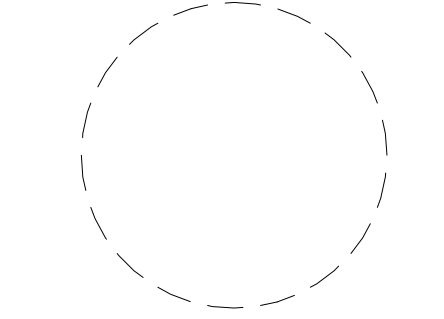
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WAIVER SUBMITTAL

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DATE: 03/03/2017
JOB No.: 2017-07
DRAWN BY: Author
APPR BY: Approver

SHEET NUMBER:

A-3.00A



CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL. 33146
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:

**MIAMI RIVER WALK
1001 NW 7TH ST MIAMI, FL**

OWNER:

MAST CAPITAL 119 WASHINGTON AVE, SUITE 505 MIAMI BEACH, FL 33139

RENDERED ELEVATIONS PHASE II

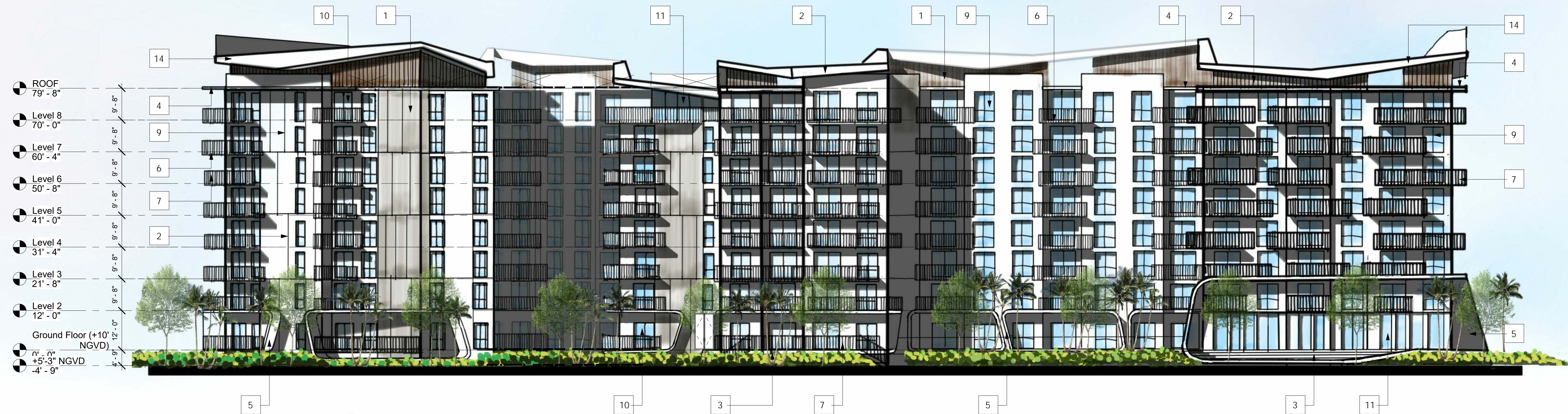
ELEVATION LEGEND

- 1 LIGHT TEXTURE CEMENT PLASTER FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)
- 2 CONTINUOUS 1/2" WIDE X 1/4 DEPTH STUCCO SCORE LINE, SPACED @ 6" O.C.
- 3 ACCESS STEPS / STOOP
- 4 CONCRETE EYEBROW SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED BALCONIES/ TERRACES AND CONCRETE SLABS OR AS OTHERWISE INDICATED BY DRAWINGS. EXTEND VERTICALLY A MIN. 2" AT ALL ADJACENT WALLS.
- 5 DECORATIVE FIN W/ SMOOTH STUCCO FINISH
- 6 BALCONY/ TERRACE CONCRETE SLAB PROPERLY SLOPED TO EXTERIOR. PROVIDE WATERPROOFING AT ALL ELEVATED BALCONIES/ TERRACES AND CONCRETE SLABS OR AS OTHERWISE INDICATED BY DRAWINGS. EXTEND VERTICALLY A MIN. 2" AT ALL ADJACENT WALLS.
- 7 42" HT. A.F.F. BALCONY PICKET RAILING, SHALL REJECT 4" OBJECTS.
- 8 ARTIFICIAL GREEN WALL
- 9 SINGLE-HUNG WINDOW W/ ALUMINUM FRAME & IMPACT RESISTANT GLASS PRODUCT CONTROL APPROVAL IS REQUIRED.
- 10 SLIDING DOOR W/ ALUMINUM FRAME AND IMPACT RESISTANT GLASS (TYP.) PRODUCT CONTROL APPROVAL IS REQUIRED.
- 11 IMPACT RESISTANT ALUMINUM STOREFRONT SYSTEM.
- 12 6'-0" HIGH ALUMINUM PRIVACY SCREEN PANEL AT BALCONIES (SEE PLANS FOR LOCATIONS)
- 13 BUILDING ADDRESS IDENTIFICATION SIGNAGE
- 14 PARAPET WALL WITH REINFORCED CONCRETE CAP.
- 15 WALL MOUNTED, EXTERIOR GRADE LIGHT FIXTURE.
- 16 IMPACT RESISTANT METAL DOOR.
- 17 STRUCTURAL COLUMN.
- 18 DECORATIVE ALUMINUM FRAMES.



PHASE II EAST ELEVATION

SCALE: 1/16" = 1'-0"



PHASE II NORTH ELEVATION

SCALE: 1/16" = 1'-0"

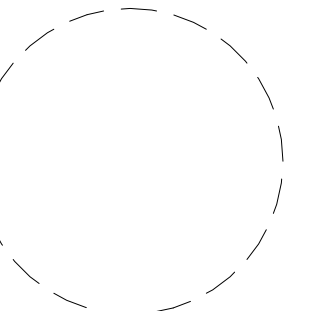
PHASE:

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Revision #	Revision Description	Date

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DATE: 03/03/2017
JOB No.: 2017-07
DRAWN BY: Author
APPR BY: Approver

SHEET NUMBER:

A-3.01



CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES, FL 33146
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:

**MIAMI RIVER WALK
1001 NW 7TH ST MIAMI, FL**

OWNER:

MAST CAPITAL 119 WASHINGTON AVE, SUITE 505 MIAMI BEACH, FL 33139

RENDERED ELEVATIONS PHASE II



ELEVATION LEGEND	
1	LIGHT TEXTURE CEMENT PLASTER FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)
2	CONTINUOUS 1/2" WIDE X 1/4 DEPTH STUCCO SCORE LINE, SPACED @ 6" O.C.
3	ACCESS STEPS / STOOP
4	CONCRETE EYEBROW SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED BALCONIES/ TERRACES AND CONCRETE SLABS OR AS OTHERWISE INDICATED BY DRAWINGS. EXTEND VERTICALLY A MIN. 2" AT ALL ADJACENT WALLS.
5	DECORATIVE FIN W/ SMOOTH STUCCO FINISH
6	BALCONY / TERRACE CONCRETE SLAB PROPERLY SLOPED TO EXTERIOR. PROVIDE WATERPROOFING AT ALL ELEVATED BALCONIES / TERRACES AND CONCRETE SLABS OR AS OTHERWISE INDICATED BY DRAWINGS. EXTEND VERTICALLY A MIN. 2" AT ALL ADJACENT WALLS.
7	42" HT. A.F.F. BALCONY PICKET RAILING, SHALL REJECT 4" OBJECTS.
8	ARTIFICIAL GREEN WALL
9	SINGLE-HUNG WINDOW W/ ALUMINUM FRAME & IMPACT RESISTANT GLASS PRODUCT CONTROL APPROVAL IS REQUIRED.
10	SLIDING DOOR W/ ALUMINUM FRAME AND IMPACT RESISTANT GLASS (TYP.) PRODUCT CONTROL APPROVAL IS REQUIRED.
11	IMPACT RESISTANT ALUMINUM STOREFRONT SYSTEM.
12	6'-0" HIGH ALUMINUM PRIVACY SCREEN PANEL AT BALCONIES (SEE PLANS FOR LOCATIONS)
13	BUILDING ADDRESS IDENTIFICATION SIGNAGE
14	PARAPET WALL WITH REINFORCED CONCRETE CAP.
15	WALL MOUNTED, EXTERIOR GRADE LIGHT FIXTURE.
16	IMPACT RESISTANT METAL DOOR.
17	STRUCTURAL COLUMN.
18	DECORATIVE ALUMINUM FRAMES.

PHASE II SOUTH ELEVATION

SCALE: 1/16" = 1'-0"

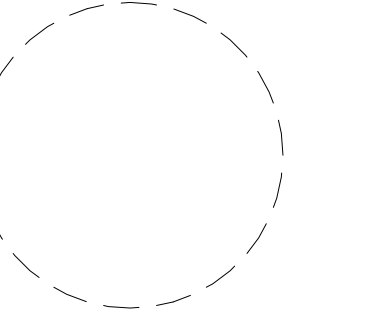
PHASE:

WAIVER SUBMITTAL

PERMIT No.:

REVISIONS		
Revision #	Revision Description	Date

SEAL:



THIS DRAWING IS THE PROPERTY OF CORWIL ARCHITECTS INC. UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THIS DRAWING ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY WITHOUT AS AGREED TO BY THE ARCHITECT/ENGINEER.
DATE: 03/03/2017
JOB No.: 2017-07
DRAWN BY: Author
APPR BY: Approver

SHEET NUMBER:

A-3.01A



CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL 33146
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:

MIAMI RIVER WALK
1001 NW 7TH ST MIAMI, FL

OWNER:

MAST CAPITAL 119 WASHINGTON AVE,
SUITE 505 MIAMI BEACH, FL 33139



RIVER WALK PROMENADE



PROMENADE SURFACE PATTERNS



PEDESTRIAN PROMENADE



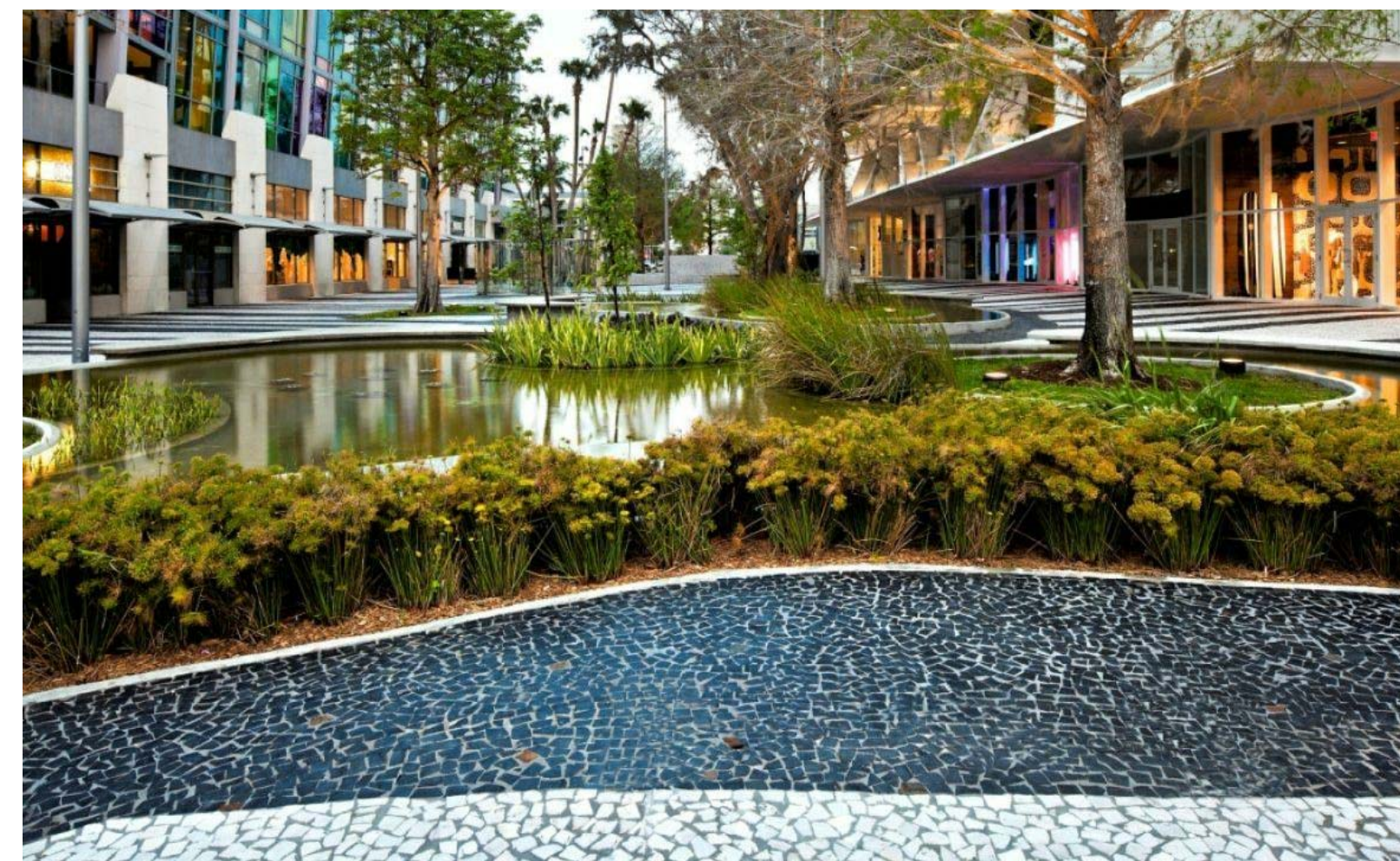
PROMENADE SURFACE PATTERNS



PEDESTRIAN PROMENADE



PEDESTRIAN PROMENADE



PEDESTRIAN PROMENADE



PUBLIC PARK AREA



ALTERNATING BALCONIES



CONCEPTUAL PATTERN

REFERENCE IMAGES

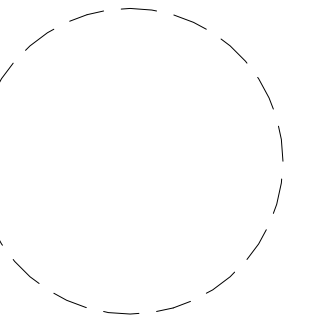
PHASE:

WAIVER
SUBMITTAL

PERMIT No.:

REVISIONS		
Revision #	Revision Description	Date

SEAL:



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DATE: 03/03/2017
JOB No.: 2017-07
DRAWN BY: Author
APPR BY: Approver

SHEET NUMBER:

A-3.02



CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL. 33146
LIC. NO. AA-C002151 T.305.448.7383

PROJECT:

MIAMI RIVER WALK
1001 NW 7TH ST MIAMI, FL

OWNER:

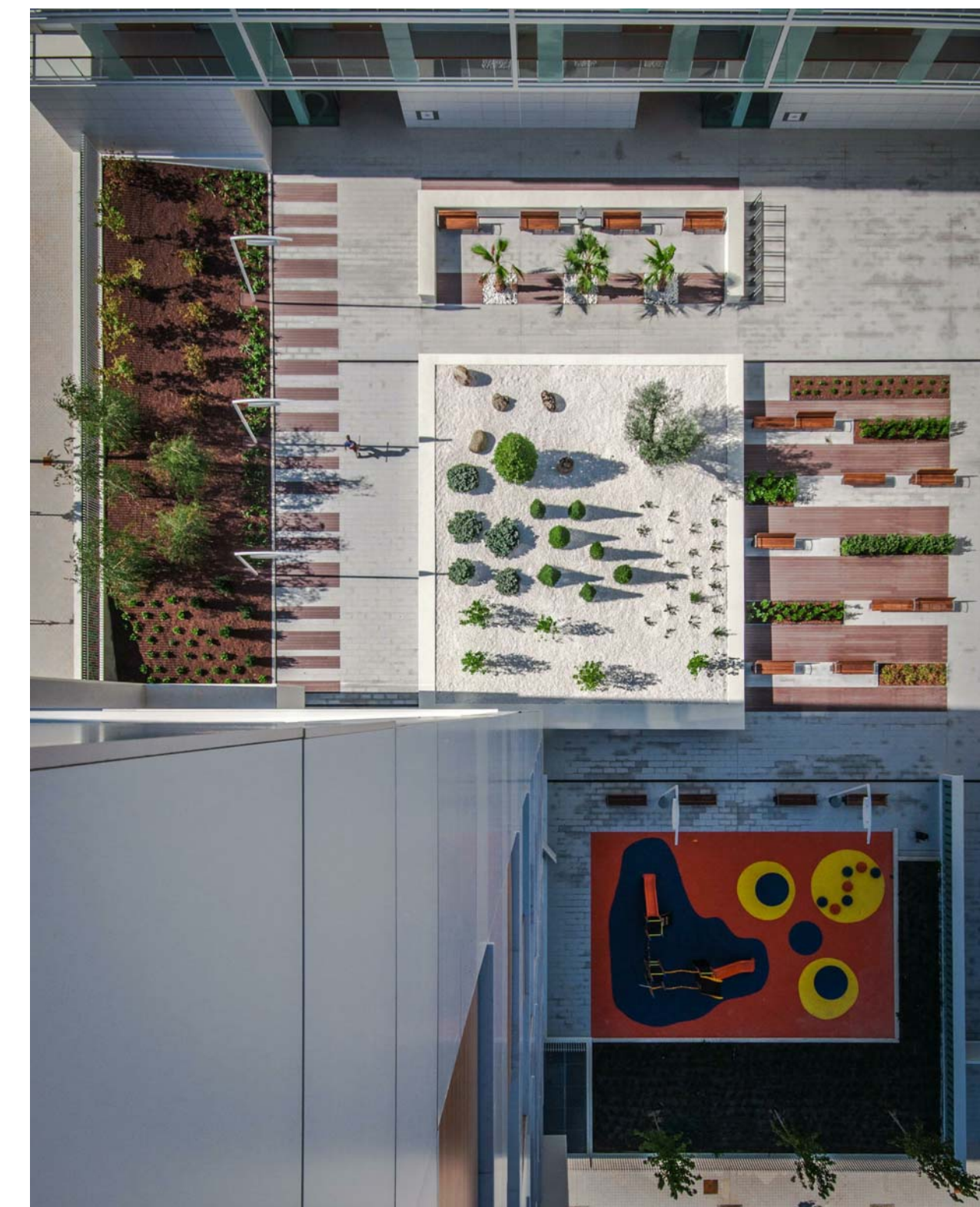
MAST CAPITAL 119 WASHINGTON AVE, SUITE 505 MIAMI BEACH, FL 33139



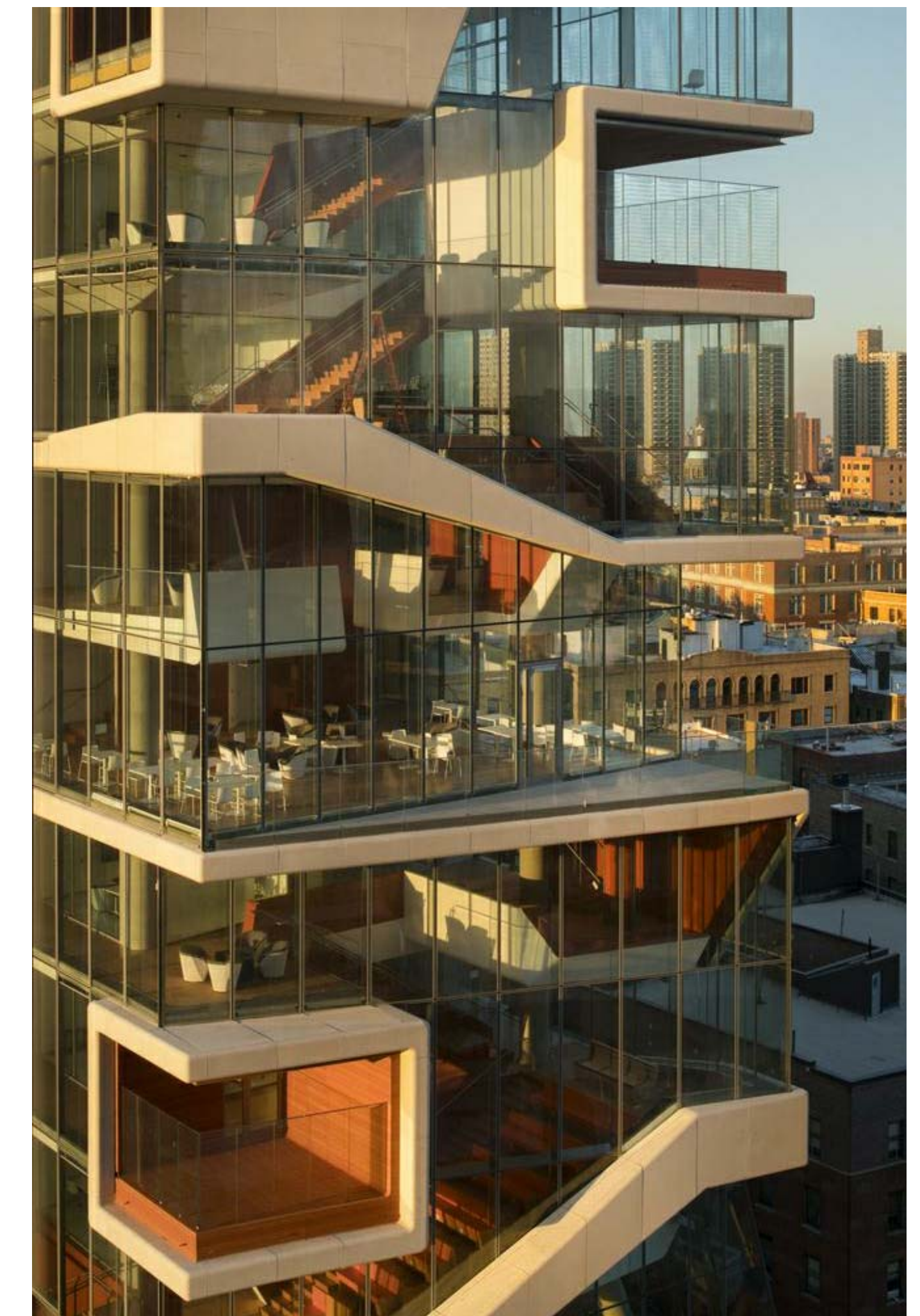
ALTERNATING BALCONIES



ANGLED BALCONIES



SITE WORK



BANDING AND STOREFRONTS



ALTERNATING BALCONIES



CONCEPTUAL PATTERN AND TEXTURES



PROMENADE



FRAMED ENTRANCE STAIRS

REFERENCE IMAGES

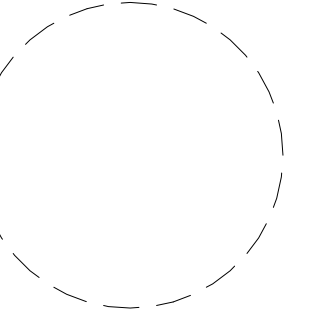
PHASE:

WAIVER
SUBMITTAL

PERMIT No.:

REVISIONS		
Revision #	Revision Description	Date

SEAL:



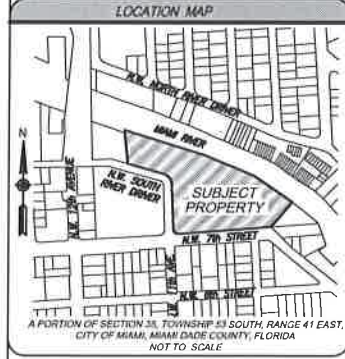
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DATE: 03/03/2017
JOB No.: 2017-07
DRAWN BY: Author
APPR BY: Approver

SHEET NUMBER:

A-3.02A

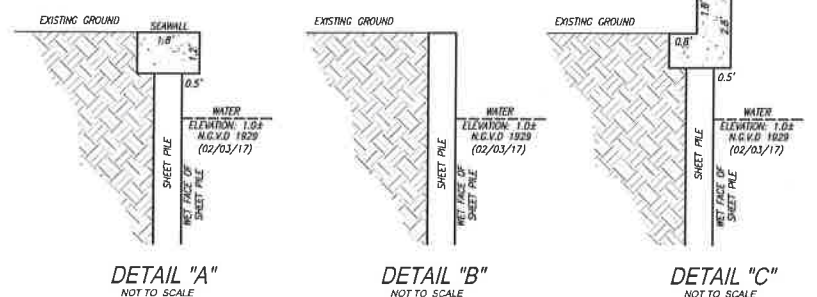
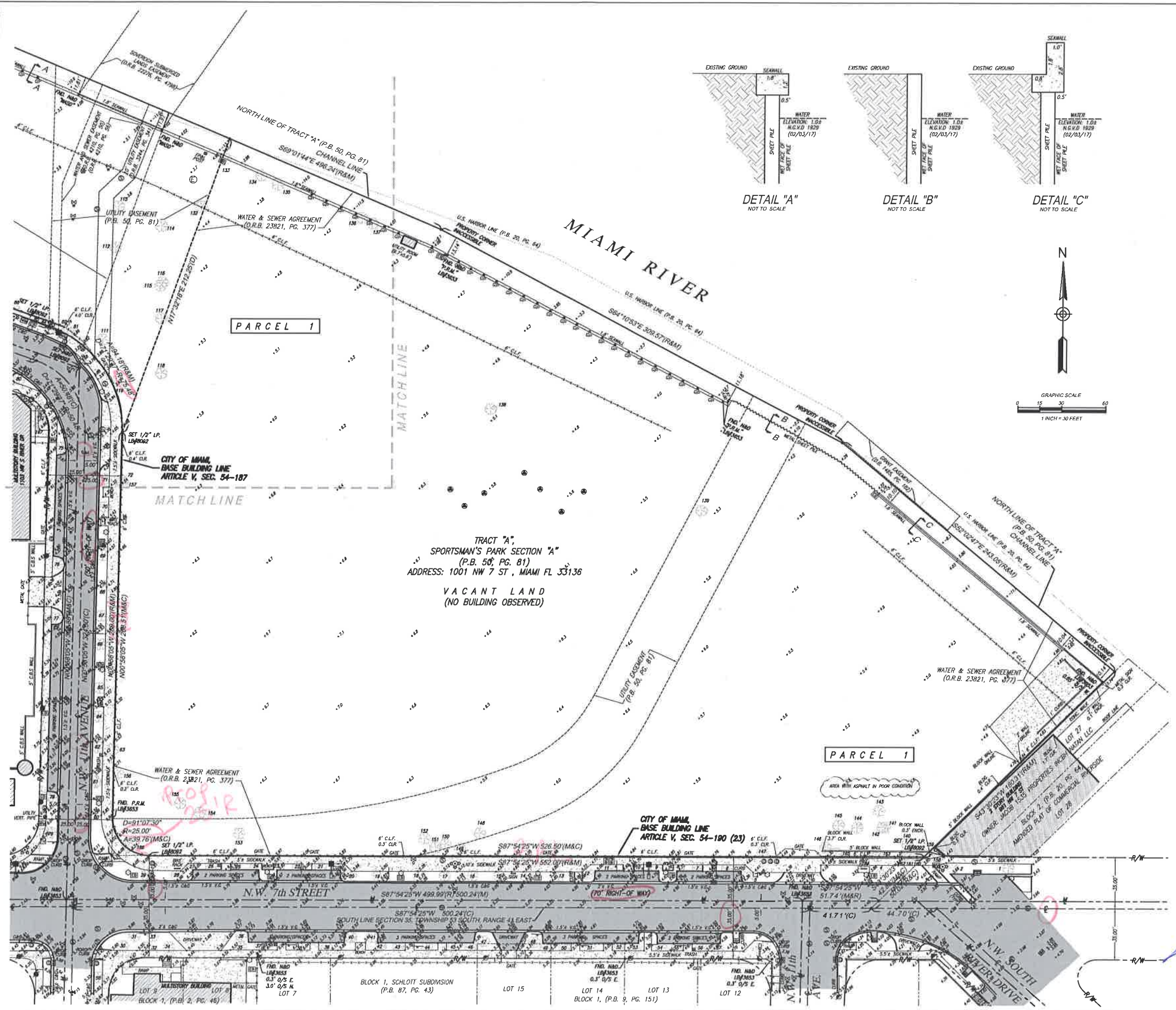
LEGEND AND ABBREVIATIONS

Table with 2 columns listing symbols for various utility markers (concrete pole, aluminum pole, etc.) and their corresponding abbreviations.



DATUM AND BENCHMARKS
1. ELEVATIONS SHOWN HEREON REFER TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D. 1929) AND ARE EXPRESSED IN FEET.
2. BENCHMARKS:
a. CITY OF MIAMI BENCH MARK, ELEV. 16.010 ± 0.26 = 15.750 N.G.V.D. 1929, BM DESC. NAIL & DISC AT S.W. CORNER OF N.W. 12th AVENUE AND N.W. 7th STREET.
b. CITY OF MIAMI BENCH MARK, ELEV. 12.751 ± 0.26 = 12.501 N.G.V.D. 1929, BM DESC. NAIL & DISC AT NORTH SIDE OF N.W. 7th STREET 300' EAST FROM N.W. 12 AVENUE CENTERLINE.

REVISIONS table with columns for DATE, JOB No., REV., and BY.



BOUNDARY SURVEY
M-SOUTH RIVER DRIVE OWNER LLC
J. Hernandez & Associates Inc
LAND SURVEYORS AND MAPPERS
LEGAL DESCRIPTION
SURVEYOR'S NOTES
FLOOD ZONE INFORMATION
CERTIFY TO
PROPERTY INFORMATION
SURVEYOR'S CERTIFICATION

SPECIFIC PURPOSE SURVEY

PREPARED FOR:
M-SOUTH RIVER DRIVE OWNER LLC
 LYING AND BEING IN SECTION 35, TOWNSHIP 53 SOUTH, RANGE 41 EAST, CITY OF MIAMI, MIAMI-DADE COUNTY, FLORIDA.

J.Hernandez & Associates Inc
 LAND SURVEYORS AND MAPPERS
 CERTIFICATE OF AUTHORIZATION No. LB8092
 4805 NW 73rd AVE., SUITE #9, MIAMI, FL 33166
 (P) 305-626-0606 (E) info@jhsurveys.com

DRAWN BY: M.J.M. DATE: 5/23/17
 CHECKED BY: J.G.H. DATE: 5/23/17
 JOB NUM.: 158913 F.B. N/A, PG. N/A

LEGAL DESCRIPTION

PARCEL 1:
 TRACT A OF SPORTSMAN'S PARK SECTION 'A', ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 50, PAGE 81, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LESS A PORTION OF TRACT A BEING MORE PARTICULARLY DESCRIBED AS:

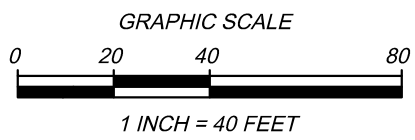
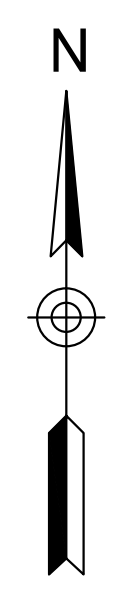
BEGIN AT THE NORTHWEST CORNER OF SAID TRACT A, THENCE S 00°30'05" E ALONG THE WEST LINE OF SAID TRACT A FOR 190.93 FEET; THENCE S 72°27'42" E ALONG THE SOUTHERLY LINE OF SAID TRACT A FOR 206.70 FEET TO A POINT OF CURVATURE CONCAVE TO THE SOUTHWEST; THENCE SOUTHEASTERLY ALONG A 75.48 FOOT RADIUS CURVE LEADING TO THE RIGHT THROUGH A CENTRAL ANGLE OF 71°23'37" AND AN ARC DISTANCE OF 94.18 FEET; THENCE N 17°32'18" E FOR 212.25 FEET; THENCE N 69°01'44" W ALONG THE NORTH LINE OF SAID TRACT A FOR 339.49 FEET TO THE POINT OF BEGINNING.

AND
 PARCEL 2:

A PORTION OF TRACT A OF SPORTSMAN'S PARK SECTION 'A', ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 50, PAGE 81, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS:

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LYING AND BEING IN SECTION 35, TOWNSHIP 53 SOUTH, RANGE 41 EAST, CITY OF MIAMI, MIAMI-DADE COUNTY, FLORIDA.



FRONTAGE MAP

SURVEYOR'S NOTES

1. PROPERTY OWNER: RAD MIAMI RIVER PHASE I LLC
2. PROPERTY ADDRESS: 1001 NW 7 ST, MIAMI FL 33136
3. PROPERTY POLYNUMBER: 01-355-09-0010
4. THE SPECIFIC PURPOSE OF THIS SURVEY IS TO SHOW TOTAL LINEAR ROADWAY FRONTAGE FEET OF SUBJECT PROPERTY.
5. PROPERTY IS ZONED: T6-8 O (URBAN CORE)

CERTIFY TO:

- M-SOUTH RIVER DRIVE OWNER LLC
- GREENBERG TRADING LLP
- FIRST AMERICAN TITLE INSURANCE COMPANY

SURVEYOR'S CERTIFICATION:

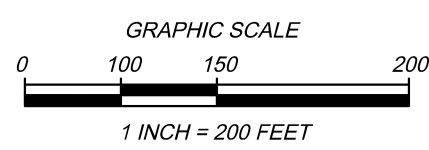
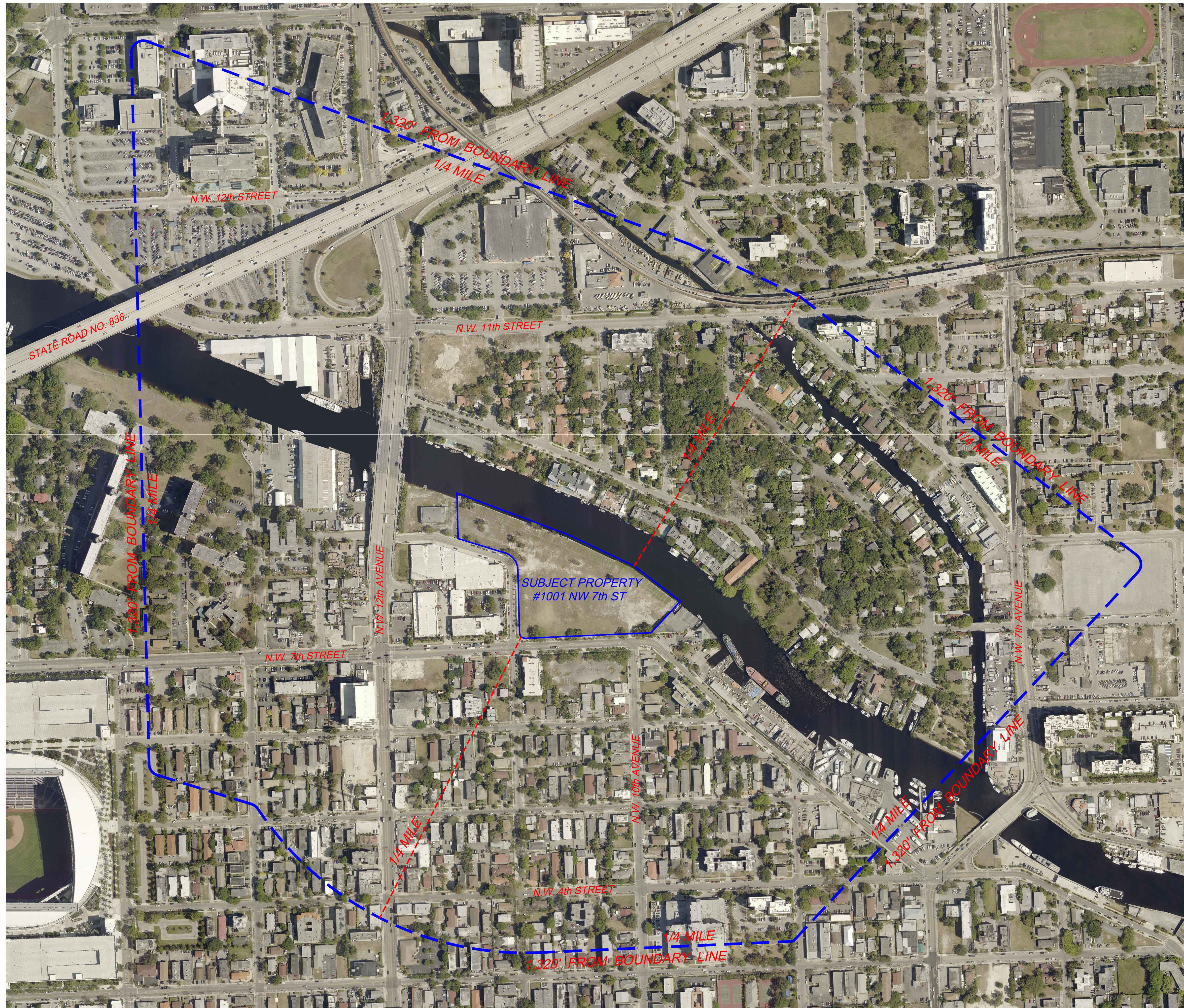
I HEREBY CERTIFY THAT THIS "SPECIFIC PURPOSE SURVEY" OF THE PROPERTY DESCRIBED HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND DRAWN UNDER MY SUPERVISION AND DIRECTION. THIS SURVEY COMPLIES WITH STANDARDS OF PRACTICE REQUIREMENTS ADOPTED BY THE FLORIDA STATE BOARD OF SURVEYORS AND MAPPERS PURSUANT TO CHAPTER 53-17, FLORIDA ADMINISTRATIVE CODE.

THIS CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PARTIES.

BY:
 JOSE G. HERNANDEZ, PRESIDENT
 PROFESSIONAL LAND SURVEYOR No. 6952
 STATE OF FLORIDA.

THIS SURVEY IS NOT VALID UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

THIS IS A BOUNDARY SURVEY
 PROJECT NUMBER: MD-141D
 SHEET NUMBER: 1 OF 1



1/4 MILE RADIUS MAP

SPECIFIC PURPOSE SURVEY

PREPARED FOR:
M-SOUTH RIVER DRIVE OWNER LLC
 LYING AND BEING IN SECTION 35, TOWNSHIP 53 SOUTH, RANGE 41 EAST, CITY OF MIAMI, MIAMI-DADE COUNTY, FLORIDA.

J.Hernandez & Associates Inc
 LAND SURVEYORS AND MAPPERS
 CERTIFICATE OF AUTHORIZATION No. LB8092
 4805 NW 73rd AVE., SUITE #9, MIAMI, FL 33166
 (P) 305-626-0506 (E) info@jhsurveys.com

DRAWN BY: M.J.M. CHECKED BY: J.G.H. JOB NUM.: 152913
 DATE: 5/23/17 DATE: 5/23/17 F.B. N/A, PG. N/A

LEGAL DESCRIPTION

PARCEL 1:
 TRACT A OF SPORTSMAN'S PARK SECTION 'A', ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 50, PAGE 81, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LESS A PORTION OF TRACT A BEING MORE PARTICULARLY DESCRIBED AS:

BEGIN AT THE NORTHWEST CORNER OF SAID TRACT A, THENCE S 00°58'05" E ALONG THE WEST LINE OF SAID TRACT A FOR 190.93 FEET; THENCE S 72°27'42" E ALONG THE SOUTHERLY LINE OF SAID TRACT A FOR 206.70 FEET TO A POINT OF CURVATURE CONCAVE TO THE SOUTHWEST; THENCE SOUTHEASTERLY ALONG A 75.48 FOOT RADIUS CURVE LEADING TO THE RIGHT THROUGH A CENTRAL ANGLE OF 71°23'37" AND AN ARC DISTANCE OF 94.18 FEET; THENCE N 17°32'18" E FOR 212.25 FEET; THENCE N 69°01'44" W ALONG THE NORTH LINE OF SAID TRACT A FOR 339.49 FEET TO THE POINT OF BEGINNING.

AND

PARCEL 2:
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LYING AND BEING IN SECTION 35, TOWNSHIP 53 SOUTH, RANGE 41 EAST, CITY OF MIAMI, MIAMI-DADE COUNTY, FLORIDA.

SURVEYOR'S NOTES

1. PROPERTY OWNER: RAD MIAMI RIVER PHASE I LLC
2. PROPERTY ADDRESS: 1001 NW 7th ST, MIAMI FL 33136
3. PROPERTY FOLIO NUMBER: 01-3153-09-0010
4. THE SPECIFIC PURPOSE OF THIS SURVEY IS TO SHOW A RADIUS OF 1/4 MILE (1,320 FEET) FROM BOUNDARY LINES OF SUBJECT PROPERTY.
5. PROPERTY IS ZONED: T6-8 O (URBAN CORE)

CERTIFY TO:

- M-SOUTH RIVER DRIVE OWNER LLC
- GREENBERG TRAUIG LLP
- FIRST AMERICAN TITLE INSURANCE COMPANY

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS "SPECIFIC PURPOSE SURVEY" OF THE PROPERTY DESCRIBED HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND DRAWN UNDER MY SUPERVISION AND DIRECTION. THIS SURVEY COMPLIES WITH STANDARDS OF PRACTICE REQUIREMENTS ADOPTED BY THE FLORIDA STATE BOARD OF SURVEYORS AND MAPPERS PURSUANT TO CHAPTER 53-17, FLORIDA ADMINISTRATIVE CODE.

THIS CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PARTIES.

BY:
 JOSE G. HERNANDEZ, PRESIDENT
 PROFESSIONAL LAND SURVEYOR No. 6952
 STATE OF FLORIDA.

THIS SURVEY IS NOT VALID UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

THIS IS A BOUNDARY SURVEY
 PROJECT NUMBER: MD-141C
 SHEET NUMBER: 1 OF 1



WALKING DISTANCE FROM THE N.E. OF N.W. 7th STREET AND N.W. 11th AVENUE INTERSECTION TO THE S.E. OF N.W. 11th STREET AND N.W. 12th AVENUE INTERSECTION : ±1,866 LINEAR FEET

SPECIFIC PURPOSE SURVEY

PREPARED FOR:
M-SOUTH RIVER DRIVE OWNER LLC
 LYING AND BEING IN SECTION 35, TOWNSHIP 53 SOUTH, RANGE 41 EAST
 CITY OF MIAMI, MIAMI-DADE COUNTY, FLORIDA.

J.Hernandez & Associates Inc
 LAND SURVEYORS AND MAPPERS
 CERTIFICATE OF AUTHORIZATION No. LB8092
 4805 NW 73rd AVE, SUITE #9, MIAMI, FL 33166
 (P) 305-626-0606 (E) info@jhsurveys.com

DRAWN BY: M.J.M. DATE: 5/28/17 CHECKED BY: J.G.H. DATE: 5/28/17 JOB NUM.: 152913 F.B. N/A, PG. N/A

LEGAL DESCRIPTION

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 TRACT A OF SPORTSMAN'S PARK SECTION 'A', ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 50, PAGE 81, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LESS A PORTION OF TRACT A BEING MORE PARTICULARLY DESCRIBED AS:

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CERTIFY TO:

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- FIRST AMERICAN TITLE INSURANCE COMPANY

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BY:
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 STATE OF FLORIDA.

(THIS SURVEY IS NOT VALID UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.)

THIS IS A BOUNDARY SURVEY
 PROJECT NUMBER: MD-141E
 SHEET NUMBER: 1 OF 1